

1. April Regular Meeting Agenda

Documents: [AGENDA_2016-04-20.PDF](#)

2. April Regular Meeting Packet

Documents: [PACKET_2016-04-20.PDF](#)

Agenda
Planning Commission
Council Chambers
Wednesday, April 20, 2016 – 7:00 P.M.

I. Call to Order

II. Roll Call

Roderick Johnson, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Liz Dahl MacGregor	P	A
Matt Dunwoodie	P	A
Phil Hollifield	P	A
Heidi Jugenitz	P	A
Briana A. Mason	P	A
Jared Talaga	P	A

III. Approval of Minutes

- March 16, 2016

IV. Audience Participation

Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.

V. Presentations and Public Hearing Items

- Special Use Permit and Site Plan Review: 436 Orchard
- Special Use Permit and Site Plan Review: 734 N River
- Special Use Permit and Site Plan Review: 298 Jarvis

VI. New Business

- None

VII. Old Business

- Zoning Ordinance Updates

VIII. Future Business Discussion / Updates

IX. Committee Reports

- Non-motorized Advisory Committee: 4/7/16 minutes

X. Adjournment

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**PLANNING COMMISSION
MEETING MINUTES
March 16, 2016
CITY COUNCIL CHAMBER
7:00 P.M.**

I. CALL TO ORDER

The meeting was called to order at 7:05 p.m.

II. ROLL CALL

Present: R. Johnson, A. Bedogne, C. Zuellig, B. Mason, L. MacGregor, P. Hollifield,
J. Talaga, H. Jugenitz

Staff: Bonnie Wessler, City Planner
Nan Schuette, Executive Secretary
Cynthia Kochanek, Associate Planner
Beth Ernat, Director of Economic Development

Chairman Johnson welcomed new planning commission member, Jason Talaga.

III. APPROVAL OF MINUTES

Commissioner Hollifield moved to approve the minutes of February 17, 2016, with correction noted by Chairman Johnson (Support: L. MacGregor) and the motion carried unanimously.

IV. AUDIENCE PARTICIPATION

None

V. PRESENTATION AND PUBLIC HEARING ITEMS

1. Rail Crossing Closures: North Park and North Grove

Ms. Wessler presented the staff report stating that the City has been informed by Amtrak that trip times may be decreased, and train travel speeds increased, with every at-grade crossing closure. To incentivize municipalities to close these crossings, they fully fund such closures if they are completed by July 30th. In an effort to ensure smooth and efficient functioning of the Wolverine Line, the City has agreed to strongly consider closing the crossings at North Park and

North Grove. Area residents and other stakeholders were invited to attend the public hearing at this Planning Commission meeting to get feedback. Planning Commission is being asked to make a recommendation to City Council. A drawing of the concept was included for the public to review.

Chairman Johnson asked about the possibility of pedestrian crossings and Ms. Wessler responded that this would be prohibited from crossing at this point. Commissioner MacGregor asked what the result would be if not closed – would that mean no station if not feasible to complete by July 30th. Ms. Wessler responded that there is no direct relationship between the closures and a rail stop; however, we must take into account that any stop that is added would add time. These closures would reduce travel time and make the rail stop more likely. Commissioner Hollifield asked where else could people cross and Ms. Wessler responded, either N. Prospect or N. River.

Commissioner Bedogne moved to open the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Hugh Kennedy, 316 N. Grove – Initially, he was in favor due to speeders/cut-through and truck traffic, but concerned there would be no pedestrian crossing but realizes that the safest way for pedestrians would be to use Prospect St. bridge. He is still supportive of the closure since it would enhance transportation in Ypsilanti.

Lynn Fremont, 208 N. Grove – in favor of closing – agrees with Hugh Kennedy regarding the speeders and trucks but happy to use Prospect to walk.

Stephanie Weston, 302 N. Grove – agrees with others, in favor of train and second what everyone else says about train station and closures. Would like pedestrian crossing – bridge? In support.

Becky Lewis, 216 E. Cross – not in favor of closures. Cars that speed down Park/Grove will detour to Prospect/River. She is concerned about amount of traffic by reducing the two streets. She feels it will involve more traffic at her intersection (Prospect/Miles/Cross). The turn lane by her driveway that was moved during the reconstruction on Prospect affects her pulling out the driveway. She was also confused about the train stop at both crossings. Ms. Ernat explained to her the stopping/slowng traffic for future stop in DepotTown.

Henry Prebys, 301 N. Grove – sympathizes with Becky – he is concerned about traffic that went to Marsh Plating. After construction, trucks continued to use N. Grove – started doing a three-point turn at High 3-4 times per day. Supports closing Grove and Park.

Lon Smith, 215 E. Cross – carriers for Post Office not happy – one carrier serves whole area – carrier has to make multiple runs across the crossing – would be a mess to reconfigure the routes. Wants a “no through traffic for trucks” sign and ticketing. Uses Park Street. Doesn’t like going through Depot Town. Also on New Beginnings Academy, the parking for them faces Michigan Avenue so will have to u-turn or take North Street. Safety issue. Also concerned about plowing. Doesn’t believe it will help speed up trains – just blow through. Also will be difficulty for tourists finding the Tucker House. Wants a traffic study done and a survey of the people that live there.

Leo Heffner (Becky's husband) – 216 E. Cross – Agrees with everything Lon stated. He questions why the streets should be closed for a train that “might” stop in Depot town for a couple of minutes.

Andrea Gruber, 318 E. Cross – Has mixed feelings – traffic will have to go somewhere if diverted. She is pro-train but not really sure that a Wolverine is worth it. Doesn't like the idea of going through Depot Town – thinks traffic elsewhere will speed up and go down Prospect/E. Cross.

Teresa Maddix, 214 N. Grove – currently lots of truck traffic – In favor if Amtrak would commit to train stop. Pedestrians would jump over barriers to cut thru. Closing the tracks would make commute longer but she's OK with that.

Christine Chi, N. River – should do a study – consider closing only one street with all the events that go on in Depot Town. Closing both if close proximity not good idea – would create havoc.

Tyler Weston, 302 N. Grove – recommends only closing Grove and not Park. He is concerned about diversion of traffic and not enough pedestrian traffic.

Ms. Ernat stated that MDOT will give us money if we can decrease time of five minutes statewide. Chairman Johnson added that the board will be taking a vote.

Mary Ellen Hagenauer, 309 N. Grove – supports the train but wants to compromise and only close Grove.

Hugh Kennedy, 316 n. Grove – Pointed out that these two streets are really the only impediment for miles around that are practical to close.

Matt Marsh, 103 N. Grove – stated that he was sensitive to the truck issue – will make every effort to redirect traffic since he didn't realize it was so bad. He told the audience he agrees with speeding and will encourage people to drive safely. Cuts off their maintenance lots – needs to look at design/redesign. Concerned for people turn left on to E. Michigan – tough on evacuation routes and Grove is really their only access.

Commissioner Zuellig moved to close the public portion of the hearing (Support: H. Jugenitz) and the motion carried unanimously.

Chairman Johnson stated that he lives on Grove and is happy about potential closure – they have wanted that for years. He added that we had received one letter from a resident, Ms. Probst, 302 N. Park – who is hugely in favor of the railroad crossing at Park and OK with the one on Grove also but has less vested interest on that closure.

Commissioner Mason stated that it would make it easier for EMU students/faculty to travel. Closing would increase safety but does understand the impact on traffic.

Commissioner MacGregor – Is a neighbor of the lady on N. Park who wrote the letter. She added that this is the route that her kids walk to Prospect. Has questions about the likelihood of actually building the platform.

Commissioner Zuellig – really appreciated all the feedback - stated that she had previously lived on N. Grove and is concerned about closing two streets pushing traffic on to River or Prospect. Grid gives the city redundancy and resiliency. This will create a superblock in that area. She is pro-traffic study. Think it is an interesting idea to close one but not the other – dead ends are rough spaces in town. Would hate to close the roads and then never get a stop.

Commissioner Jugenitz – Seconds the view that there should be a traffic study to help the board make the best decision.

Commissioner Bedogne – he counted the votes and looks like eight people spoke against the potential closure and six spoke against. It is his opinion that it is a drastic measure but one that has to be taken and will vote for it.

Commissioner Hollifield – He is inclined to go along with it. He added that we have had the median on Michigan Avenue, the recent road diet down Michigan Avenue and feels that while people complain now, they get used to it. Thinks the design isn't the greatest and could be improved. He is pro train stop. Would like pedestrian bridges. Feels that the train will bring in more revenue to the city.

Commissioner Talaga – noted that Beth has mentioned about the need to cut times by five minutes and asked if other communities had been contacted to see how they had been affected.

Commissioner Zuellig asked why the cut-off date was July 30th if not doing right away. Ms. Ernat responded that it is funding issues.

Commissioner Hollifield moved that the Planning Commission recommend to City Council the railroad crossing closure of N. Grove and N. Park (Support: A. Bedogne). A roll call vote was taken with a vote of 6:2. Commissioners Zuellig and Jugenitz opposed. The motion carried.

2. Special Use – 943 N. River

Staff report was presented by Associate Planner, C. Kochanek, who stated this is an approval of a special use and site plan for the solar array proposed for the northern portion of the site at North River (bounded by Clark) for a total of 5.015 acres for the installation of a ground mounted solar photovoltaic system with the accompanying signage, transformer pad and service rack.

The Planning Commission recommended to City Council at its February 10, 2016 meeting, that the text of the zoning ordinance be amended to allow for solar farms as a special land use in the Parks district. This has not been approved by council as of this date but should be completed by April. Any approval of this special use and site by the Planning Commission is contingent on the approval by City Council in April.

We did receive the engineering review from OHM which indicated they recommended site plan approval. Staff is recommending that we approve the special use and site plan with conditions and waivers.

Staff report was presented by Ms. Kochanek.

Commissioner Hollifield stated that his son is a VP of Information Technology at DTE and questioned if he has a conflict of interest with voting on this item. Economic Director Ernat asked if his son lived at home and is directly involved with solar at DTE, to which Commission Hollifield responded that he neither lived at home nor was involved in solar. Ms. Ernat stated that based on this information, he would not have a conflict of interest.

Commissioner Hollifield moved to open the public portion of the hearing (Support: H. Jugenitz) and the motion carried unanimously.

Commissioner Johnson asked if the applicant had any concerns with conditions and Jeff Eckhouc, Project Manager for Nova Consultants, representing DTE, responded that he had no issues with any of the conditions.

Ms. Wessler noted that one of the possible permutations for one of the conditions for the non-motorized pathway and/or sidewalk is, given the presence of the nature preserve to the north and Superior Greenway and high quality nature trails to the south, that the Planning Commission may consider instead of a fee in-lieu of constructing a sidewalk that they consider a fee in-lieu of a shared use path to connect the superior greenway to the trails at Highland Cemetery at some future time.

Some questions were asked by commissioners to clarify the fee in-lieu and how it is handled. Ms. Wessler stated it goes to a specific account for a designated project that is agreed by all parties. She gave an example of one at Peninsula Place where money was held for a sidewalk that was unable to be built because of the railroad and the money is being held for a more appropriate project in the same area. Chairman Johnson added that he was comfortable with staff ensuring that this would be handled in such a way to be beneficial to our shared interest of how this is worked out.

Commissioner MacGregor moved to close the public portion of the hearing (Support: P. Hollifield) and the motion carried unanimously.

Commissioner MacGregor moved that the Planning Commission approve the Special Use Permit for the DTEE Solar Project-Highland Cemetery with the following findings and conditions:

Findings: The application is substantially in compliance with Sec122-165(b) and complies with the ordinance amendment currently before Council for approval.

Conditions: Special use approval shall be subject to approval of the site plan.

The motion was supported by Commissioner Jugenitz. A roll call vote was taken and carried unanimously.

Commissioner Jugenitz moved that the Planning Commission approve the Site Plan for the DTEE Solar Project-Highland Cemetery with the following findings, waiver, and conditions:

Findings:

The application substantially complies with Sec122-127; and complies with the ordinance amendment currently before Council for approval.

Waivers:

1. A waiver is requested from the Sec122-704 due to site constraints and the nature of the solar array project.

Conditions:

1. Applicant will indicate the height of the transformer on plans submitted to the city planner for administrative approval.
2. Applicant will note on the site plan that any freestanding photovoltaic system which is not used for six (6) months will be deemed to be abandoned and unless there is proof of mitigating circumstances and a three-month extension is granted by the City, the applicant will need to dismantle the site and return it to its original state.
3. The applicant will provide shared-use path in lieu of a sidewalk, as part of a non-motorized network or a fee in-lieu of construction may be provided by the development in the amount of 100% of the construction cost.
4. Shrubs and other obstructions will be mainlined lower than 30" and trees and other obstructions higher than 8' surrounding the site for traffic visibility triangle at the intersection of North River and Clark.
5. Applicant will plant an additional three (3) trees to the north along the gravel drive.
6. Applicant will screen the transformer from the rights-of-way with plantings or a compatible durable non-combustible enclosure.
7. Applicant will maintain vines on the north fence as screenings as long as they don't interfere with the operation of the solar array.
8. This approval shall be conditioned on council's adoption of the amendment to the zoning ordinance recommended by Planning Commission, or an amendment substantially similar in nature and requirements.

The motion was supported by P. Hollifield. A roll call vote was taken and carried unanimously.

VI. NEW BUSINESS

1. Study Item – 50-62 Ecorse

Ms. Wessler stated that the owner has two potential concepts for this property and would like feedback from the Planning Commission. This is for presentation purposes only and no action will be taken. Ms. Wessler stated there is no staff presentation.

The applicant stated that the owner could not be present, hence the reason he was in attendance to review the proposed concepts with the board for feedback. They have gone through four different options and have now come up with two. They are looking at either one enlarged retail use or two separate buildings for a medical/support facility. They are looking at

changing the five current openings to two. A number of comments were made by board members, indicating some concerns that they had regarding frontage, parking, etc. The consensus choice was the second option with the medical support facility. They also recommended that the building be moved further back.

VI. OLD BUSINESS

None

VII. FUTURE BUSINESS DISCUSSION/UPDATES

Ms. Wessler reported that there are three applications for next month:

436 Orchard – child care
734 N. River – Special Use
298 Jarvis – Fire truck access

VIII. COMMITTEE REPORTS

1. Non-Motorized Advisory Committee By-laws

The minutes for both the February and March meetings were included.

Bob Krzewinski, 706 Dwight, Chair of the Non-Motorized Advisory Committee, was in attendance to share communications the Advisory Committee that they plan to send to MDOT to identify four non-motorized user crossings under their jurisdiction that are very much in need of safety improvements, none of which require major construction, only the addition of signs, pavement markings, etc. these improvements would help non-motorized users, especially the disabled attempting to cross streets in a safe manner. The problem areas are:

1. North Huron Street at West Cross (M-17)
2. North Huron Street at Pearl Street
3. Hamilton Street at Michigan Avenue
4. Huron Street Crossing of I-94.

Chairman Johnson thanked Mr. Krzewinski for the update and dedication to improving city streets.

Commissioner Zuellig moved to support this effort sending communications to MDOT for ADA crossing compliance (Support: J. Talaga) and the motion carried unanimously.

IX. ADJOURNMENT

Since there was no further business, Commissioner moved to adjourn the meeting (Support:). The meeting adjourned at



April 8, 2016

Staff Review of Special Use Application
436 Orchard-Group Daycare
436 Orchard

GENERAL INFORMATION

Applicant:	Kesha Kersey Kid's Paradise Preschool Daycare 436 Orchard Ypsilanti, MI 48197
Project:	Kid's Paradise Preschool Daycare
Application Date:	March 8, 2016
Location:	SW corner of Orchard St and Short St
Zoning:	R-1, Single-Family Residential
Action Requested:	Special Use approval for group daycare
Staff Recommendation:	Approval with conditions

PROJECT AND SITE DESCRIPTION

Parcel 11-11-39-433-011 is 0.18 of an acre. The house is on a corner lot with frontage on Orchard St. There is an existing ~1,300 square foot residential building on the site. No variances or special use permits have been issued previously for this property.

The applicant is currently licensed with the State of Michigan as a child care home with a capacity of 6 children. Zoned **R-1, Single-Family Residential**, the use of this property as a family child care home for up to 6 children is permitted as an accessory use.

The applicant is seeking approval for an increase in the use to utilize the home as a group day care for up to 12 children, which is allowed in R-1, Single-Family Residential only after approval as a special land use. A more intense use of a child care center is not allowed in R-1. Child care centers, child drop-off centers and group day care homes are regulated under §122-779 and special land use is regulated under Article V of the zoning code.

Figure 1: Subject Site Location

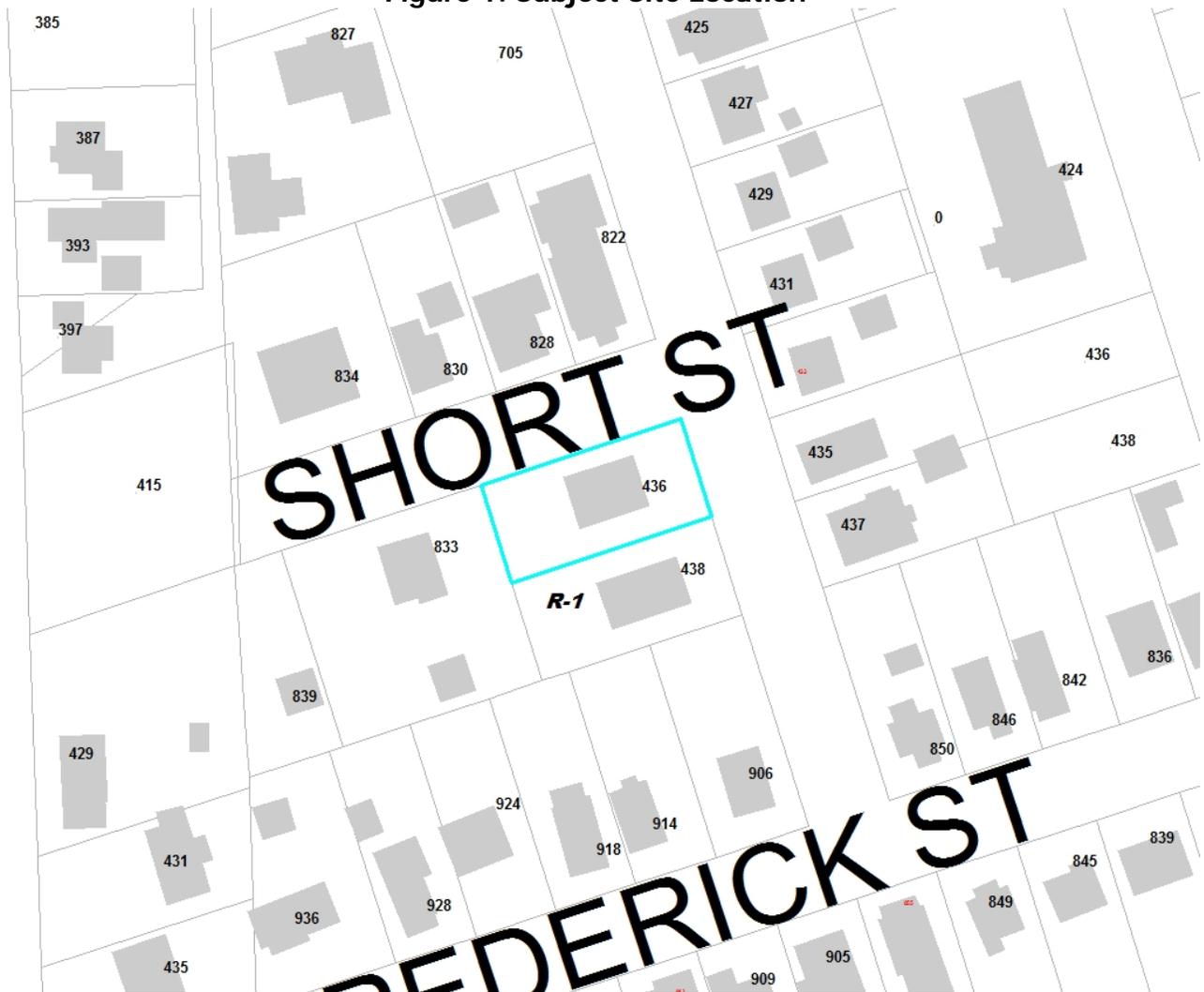


Figure 2: Site Aerial (2015)



Figure 3: photograph of site



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	One family homes	R-1, Single-Family Residential
EAST	One & two family homes	R-1, Single-Family Residential
SOUTH	One family homes	R-1, Single-Family Residential
WEST	One & two family homes	R-1, Single-Family Residential

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

(1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan review standards (section 122-128) and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered.*

COMMENTS: This special use aligns with the stated goal of “continuing home-based entrepreneurship” within neighborhoods and with Ypsilanti being a great place to do business. With the site on a corner lot it affords more room for the daycare and any parking that is needed. The times of operation need to be verified with the applicant since they are not indicated on the application and the State of Michigan has it registered as overnight.

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: The proposed daycare does promote the use of land in a socially and economically sustainable manner and does not appear to be detrimental or hazardous to neighbors. Noise is to be expected when the daycare utilizes the yard for outdoor activities for the children and parking may be difficult if all children are picked up from the daycare at the same time.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: The applicant is not proposing any changes to the current structure but is requesting the approval of the special land use. The outdoor activity area is in the backyard and is screened from the neighboring residential with a wood privacy fence. On street parking is available as well as parking in the driveway. The driveway on the south end of the house is partially screened with fencing and landscaping from the neighboring driveway.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: The proposed land use does not present unreasonable adverse impacts on the transportation system. At drop off and pick up times, the daycare may generate additional traffic in the area however not all children will be picked up and dropped off at the same time of the day. Applicant indicates that there is room in her drive for 4 vehicles total.

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: The proposed use will not create additional requirements at public cost.

CONDITIONS OF APPROVAL

§122-167

“Reasonable conditions may be required in conjunction with an approval. The conditions may include conditions necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed must do all of the following:

- (1) Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being.*
- (2) Be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.*
- (3) Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards.”*

Items to be addressed: None

SITE PLAN: CRITERIA AND REVIEW §122-128

STANDING §122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS §122-128(2)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 5: Requirements

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
R-1: BUILDING TYPE §122-253			Single family residential	Unchanged
LOT REQUIREMENTS				
Width ft	Min 45	Max --	61'	meets
Min lot size ft	Min 5,000	Max --	7,625'	meets
Maximum lot coverage	Min --	Max 35%	19.4%, not including outbuildings	meets
BUILDING ENVELOPE AND HEIGHT				
Front yard setback ft	Min 25	Max --	35.3'	meets
Side yard setback ft	Min 4	Max --	20'	meets
Side yards (combined) ft	Min 12	Max --	35'	meets
Street side yard ft	Min 8	Max --	15'	meets
Rear yard setback ft	Min 25	Max --	39.2'	meets
Height	Min --	Max 30 ft or 2.5 stories	1	meets
Min floor Area Sq ft	Min 500	Max --	1,338	meets

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
<p>§122-779 USE-SPECIFIC</p>	<p>All child care centers, child drop-off centers and group day care homes must be registered with or licensed by the state department of social services and must comply with the minimum state standards for such facilities.</p>		<p>The applicant is currently licensed with the State as a child care home for up to 6 children. The applicant must obtain a license from the State for the group child care home. The SUP will be revoked if not obtained within 6 months of SUP approval.</p>
	<p>The square footage of outdoor recreation required by the Building Code and licensing agency must be provided and maintained. Such space must be fenced and screened from any adjoining lot in any residential district.</p>	<p>The square footage of outdoor recreation required by the state is 600 square feet or more for a group child care home.</p>	<p>Applicant appears to have ~2500 sq. ft of outdoor space.</p>
	<p>At least one off-street parking space for each care giver must be provided. Additional off-street or on-street spaces must be made available for the safe drop-off and pick-up of persons being cared for at the facility. Such drop-off-sites must not obstruct the flow of traffic along any public thoroughfare.</p>		<p>Applicant needs to repair and secure the fencing at the north side of the lot.</p> <p>At least one off-street parking space for each care giver must be provided. On street parking is available on site.</p>

Items to be Addressed:

1. The applicant is currently licensed with the State as a child care home for up to 6 children. The applicant must obtain a license from the State for the group child care home. The SUP will be revoked if not obtained within 6 months of SUP approval.
2. The applicant is to maintain the required outdoor recreation space of 600 square feet or more for a group child care home that is required by the State of Michigan.
3. The applicant needs to repair and secure the fencing on the north side of the lot.

4. At least one off-street parking space for each care giver must be provided and drop-off-sites must not obstruct the flow of traffic along the public road.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

“All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.”

The building frontage is located on Orchard. There is one entrance is at the front of the house and one entrance on the side off of the driveway, on the southern façade of the house. Both entrances have decks for access. There is also an emergency exit at the back of the house that leads to the fenced in backyard. The structure is located in the center of the lot with the driveway to the south of the building.

Items to be Addressed: None

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

“With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code.”

Vehicular access is either on Orchard Street from the north or south or via the driveway on the south side of the lot. Bike and pedestrian access are via the public sidewalk on the east side of the property. There is an approximately 3' pathway from the front deck to the driveway. Pedestrians and bicyclists will need to share the driveway for access to the front and side entrances. The closest bus route is on the east side of 1st Ave just north of Frederick St however new routes are coming in May 2016. 4' public sidewalks exist on Orchard St and Short St and are in fair to poor condition. Parking exists on the street and in the driveway. There is no designated bike parking.

Items to be Addressed: None

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the “Rules of the Washtenaw County Water Resources Commissioner,” together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Engineering site plan review is not required for this project since there are no changes proposed for the structure or the site.

Items to be Addressed: None

SCREENING **§122-128(8)**

“The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets.”

Figure 6: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	<ul style="list-style-type: none"> • Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc 		All lighting to be full cut-off.
§122-708 Site Landscaping	10%	Trees and existing landscaping throughout	Unchanged
§122-712 Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		Existing landscaping to be maintained.
§122-713 Fencing, hedges, walls, berms	R-1: fences must not exceed six (6) feet in height. However, fences in the required front yard must not exceed four (4) feet in height and fifty (50%) percent opacity.	Existing fences to remain.	Unchanged, meets

Items to be Addressed:

1. All lighting is to be full cut-off.
2. Existing landscaping is to be maintained by owner.

OTHER DEPARTMENT AND AGENCY APPROVALS **§122-128(10)**

“Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted.”

Applicant is to obtain the necessary permits for the group daycare for up to 12 children from the State of Michigan within 6 months.

MASTER PLAN CONSIDERATIONS

§122-128(11)

“An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan.”

Great place to do business, especially green and creative. This special use aligns with the stated goal of “continuing home-based entrepreneurship” within neighborhoods and with Ypsilanti being a great place to do business.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission **approve** the Special Use Permit for 436 Orchard-Group Daycare with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions: Special use approval shall be subject to approval of site plan.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission **approve** the Site Plan for the 436 Orchard-Group Daycare with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.

Waivers

None

Conditions

1. The applicant must obtain a license from the State of Michigan for the group child care home within six months of this approval otherwise the special land use will be revoked.
2. The applicant is to maintain the required outdoor recreation space of 600 square feet or more that is required by the State of Michigan for a group child care home.
3. The applicant needs to repair and secure the fencing on the north side of the lot.
4. At least one off-street parking space for each care giver must be provided and drop-off-sites must not obstruct the flow of traffic along the public roadway.
5. All lighting is to be full cut-off.
6. The existing landscaping is to be maintained by owner.

Cynthia Kochanek
Associate Planner, Community & Economic Development Department

CC File
 Applicant



Statewide Detail Child Care Centers and Homes

[See Online Reports](#)

Facility Information						
Name:	KERSEY, KESHA					
Address:	436 ORCHARD YPSILANTI, MI 48197					
County:						
Phone:	(734)891-6260	License Status:	ACTIVE			
Licensee Information						
Name:	KERSEY, KESHA					
Address:	436 ORCHARD YPSILANTI, MI 48197					
Phone:	Same as Facility					
License Information						
Number	Facility Type	Capacity	Effective Date	Expiration Date	Period of Operation	
DF810301766	Family	6	6/13/2015	6/12/2018	Year Round	
Days Open						
Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT	DAY, EVENING AND OVERNIGHT
Services Offered						
Full Day Program:	YES					
Provides:	SERVICES NOT SPECIFIED					
Reports Available						
The reports on this site are available for downloading or viewing using the Adobe Acrobat Reader .						
When rule violations have been cited in a report, the licensee is required to submit a corrective action plan. All child care providers are required to have a licensing notebook on-site and available during regular business hours. The notebook must include all licensing study and special investigation reports issued and related corrective action plans developed after 5/27/10. Reports and corrective action plans are also available through the Freedom of Information of Act .						
Inspection Report						
Renewal Licensing Study Report						

Original and Renewal Licensing Study Report

- Completed in response to the initial or renewal application for license on Child Care Centers and Group Child Care Homes.

Inspection Report

- These reports include Interim, 90 Day, and 10% Sample Inspections.

- Interim Inspections are conducted for Centers and Group Homes at or near the mid point of the effective dates of the license.
- 90 Day Inspections are completed within 90 days of the issuance date of Family Child Care Home certificate of registration.



City of Ypsilanti Planning & Development Department

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

**Non-refundable
Planning Fee:**
\$300 special use
PLUS plan review fees-
consult with staff

Engineering Fee:
If required: \$500;
additional fees may also
be required

SPECIAL USE PERMIT APPLICATION

MUST BE SUBMITTED WITH SITE PLAN OR SKETCH PLAN APPLICATION

Applicant*

Name Kesha Kersey

Property

Name of project Kid's Paradise Pre School Day Care

Current use: Family Child Care (1-6 children)

Proposed use : I would like to go up to Provide
Care for 7 to 12 children in my home

I am License for 1-6 children. See Attachment
I have signature from people that are on
my street and parents that I care for their

Rationale for request: children are Enclosed along with my license and
copy of the property and the use of the property. This paper

Signature has to be completed By the Zoning Authority. SO I

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

Signature: [Redacted] Date: 2/24/16

Print Name: Kesha Kersey

Can
turn
it
in.

Release Send this "Zoning Approval
for Group
Child Care Plans
Back to me @ 436 Orchard St
Ypsilanti, MI 48197

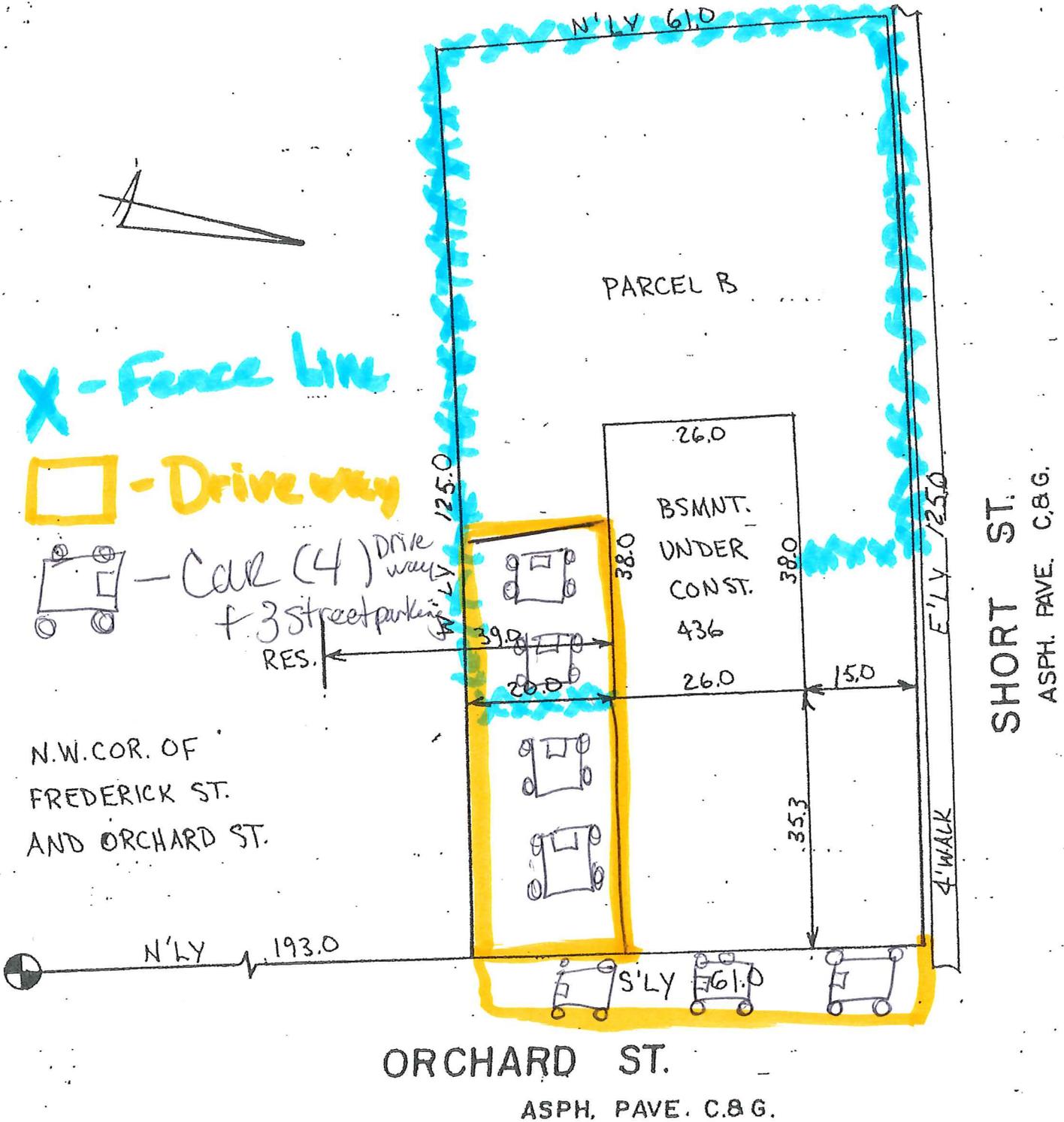
KESHA L.R. CLARK

DESCRIPTION OF PROPERTY

A PARCEL OF LAND IN THE CITY OF YPSILANTI DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST R/W LINE OF ORCHARD ST. 193.0 FT. NORTH OF THE N.W. CORNER OF FREDERICK ST. AND ORCHARD ST. TO THE POINT OF BEGINNING; THENCE WEST 125.0 FT.; THENCE NORTH 61.0 FT.; THENCE EAST 125.0 FT. ALONG THE SOUTH R/W OF SHORT ST.; THENCE SOUTH ALONG SAID ORCHARD R/W LINE 61.0 FT. TO THE POINT OF BEGINNING. ALSO BEING THE N. 1/2 OF LOTS 122 & 123 AND THE NORTH 1/2 OF THE EAST 1/2 OF LOT 121 OF WORDEN CITY GARDEN SUBDIVISION (UNRECORDED).

ALSO KNOWN AS 436 ORCHARD ST., YPSILANTI, MICHIGAN.



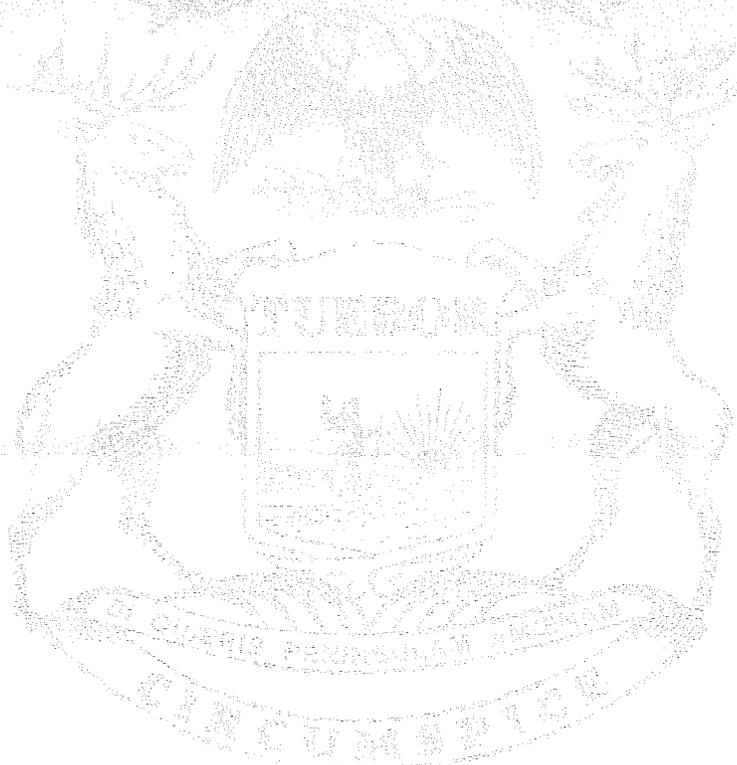
STATE OF MICHIGAN
 DEPARTMENT OF HUMAN SERVICES
 Bureau of Children and Adult Licensing
 P.O. Box 30650, Lansing, MI 48909-8150
 Certificate of Registration for the Care of Children

Facility Name:
 Kersey, Kesha
 436 Orchard
 Ypsilanti, MI 48197

Licensee:
 Kersey, Kesha
 436 Orchard
 Ypsilanti, MI 48197

LICENSE NUMBER	CAPACITY	STATUS
DF810301766	6	REGISTERED
EFFECTIVE DATE	EXPIRATION DATE	
06/13/2015	06/12/2018	

Issued in accordance with Act 116, Public Acts of 1973, as amended,
 being the Child Care Organizations Act.



This document is valid only at the location shown. It is not transferrable. It remains the property of the Michigan Department of Human Services.

A substantial violation of provisions of the statute under which this document is issued, or any of the rules and regulations adopted under the statute will be cause for revocation.

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April 13, 2016

**Staff Review of Special Use Application
734 N River Apartments
734 N River**

GENERAL INFORMATION

Applicant: Yana and Robert Mucklebauer
Best Peak Properties, LLC
734 N River
Ypsilanti, MI 48197

Project: 734 N River Apartments

Application Date: March 4, 2016

Location: East side of N River, between Holmes Rd and E Forest Ave

Zoning: CN-Mid, Core Neighborhood Mid

Action Requested: Special use approval for multiple family dwelling, 4 units

Staff Recommendation: Approval with conditions

PROJECT AND SITE DESCRIPTION

Parcel 11-11-04-410-001 is 0.84 of an acre with frontage on N River St. The structure is approximately 2,500 square feet with a detached 484 square foot garage to the east, behind the structure. Parking for the structure is in the garage (2 spaces) and a gravel lot on the north side of the house. The entrance to the house faces south. There is a substantial amount of land behind the home that is wooded. No variances or special use applications have been approved previously for this property.

The applicant is applying for special use approval to utilize the house as a multiple family dwelling with 4 units. No changes or alterations are planned for the structure or site. Zoned **CN-Mid, Core Neighborhood Mid**, which allows for multiple family dwellings with a maximum of 4 units after approval as a special land use. Special land use is regulated under Article V of the zoning code.

Figure 1: Subject Site Location



Figure 2: Site Aerial (2015)



Figure 3: photograph of site



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Church, residential homes	CN-Mid, Core Neighborhood Mid
EAST	Single Family Homes	R-1, Single-Family Residential
SOUTH	Single & Multifamily homes	CN-Mid, Core Neighborhood Mid
WEST	Vacant land Bay Logistics	CN-Mid, Core Neighborhood Mid PMD-Production, Manufacturing, Distribution

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

(1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan review standards (section 122-128) and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered.*

COMMENTS: The Master Plan states that anyone, no matter what age or income, can find a place to call home in Ypsilanti and this action preserves housing and will result in the continued maintenance and care of an existing residence. The location, scale, and intensity of the proposed use is compatible with adjacent uses as there are other multi-family residential units to the south and single family residential to the north and east. The height, location and size of this building are compatible with the adjacent properties.

- (2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.*

COMMENTS: The apartments will promote the use of land in a socially and economically sustainable manner in that an additional unit will bring in more funds and adds to the housing units in Ypsilanti. This use should not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water will not be effected. There is some potential effect on the neighboring church since access is shared via an alley and an additional unit could generate extra vehicle traffic.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: As this structure has existed as a multi-family (3 unit) dwelling in the past, it is not expected that the additional apartment will change its long-term compatibility. The use is compatible with the surrounding land uses. No changes are planned to the structure or the site. Additional screening from the ROW could be added to the parking at the side of the house.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: The proposed special land use should not have any impact on the transportation system and very minimal additions to vehicle, pedestrian and bicycle traffic. Current transit access is approximately ½ mile away however additions to AAATA routes are coming in May 2016. The public sidewalk and site access to the entrance appear to be in fair condition.

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: The proposed use will not create additional requirements at public cost for public facilities and services.

CONDITIONS OF APPROVAL

§122-167

“Reasonable conditions may be required in conjunction with an approval. The conditions may include conditions necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed must do all of the following:

- (1) Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being.*
- (2) Be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.*
- (3) Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards.”*

Items to be addressed: None

SITE PLAN: CRITERIA AND REVIEW

§122-128

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-128(2)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 5: Requirements

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
CN-Mid: BUILDING TYPE §122-274	Determined by lot size		Apartment house	Unchanged
LOT REQUIREMENTS				
Width ft	Min 40	Max 120	101.63'-103.27'	meets
Depth ft	Min 100	Max 150	330.38'-330.44'	Existing non-conforming
Area sf	Min 4000	Max 18,000	~34,124 sf	Existing non-conforming
Coverage %	Min -	Max 50%	Building footprint: 1337, garage: 484, porches: 44=1865	5.4%, meets
BUILDING ENVELOPE AND HEIGHT				
Street setback ft	Min 15	Max 25	20'	Unchanged, meets
Side setback ft	Min 5	Max -	25' north side, 55' south side	Unchanged, meets
Rear setback ft	Min 20	Max --	254'	Unchanged, meets
Frontage buildout %	Min 60	Max 80	25%	Existing non-conforming
Height stories	Min 1	Max 3	2	Unchanged, meets
ACCESSORY BUILDING ENVELOPE, FOOTPRINT, AND HEIGHT				
Street setback ft	Min 30	Max --	89'	Unchanged, meets
Side setback ft	Min 5	Max --	28' north side, 58' south side	Unchanged, meets
Rear setback ft	Min 5	Max --	217'	Unchanged, meets
Footprint sf	Min --	Max 800	484'	Unchanged, meets

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
Height ft	Min --	Max 15	1 story, exact height unknown	Unchanged, one story
PARKING PROVISIONS	Location: side, street-side and rear yards		Side and rear yards	meets
PRIVATE FRONTAGES	Required: Porch or stoop		Stoop at side,	Unchanged
Width	Min 5	Max 8	6'	Unchanged, meets
Depth	Min 3	Max 8	4'	Unchanged, meets
Height	Min 7	Max --	~7'	Unchanged
Interface zone	Landscape with path 3' wide min from sidewalk to structure		Paved path of at least 3' and stairs to connect to the sidewalk	Unchanged

Items to be Addressed: None

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

“All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.”

The building is near the front of the long lot. While the structure is addressed to N River St, the entrance is on the side facing south. There is a stoop over the entrance near the southwest corner of the house as well as one on the east/rear side. A paved path of at least 3' and stairs connect the entrance stoop to the public sidewalk. The driveway to access the parking is on the north side of the structure and is shared with the Church to the north. The garage is behind the structure to the east. Plans indicate that there is space for 2 cars in the garage and up to 8 on the north side of the house on a gravel lot. No changes are proposed to the current site arrangement.

Items to be Addressed: None

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

“With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code.”

Vehicular access is via the shared access alley off of N River, to the north of the structure. Bikes and pedestrians can access the lot via the alley or the public sidewalk to the west of the house. A set of stairs and a paved path

can be utilized to access the front entrance. The public sidewalk and internal access is in fair to good condition. The gravel parking area is in fair condition. There appears to be no designated bike parking and 2 spaces are required. The closest current bus routes are approximately a ½ mile away on Cross St in Depot Town or Adams St south of Forest. Expanded bus routes are planned to start in May 2016 and route maps indicate that bus route 3 that will run on River and stop at the intersection of Forest Ave and Norris St. The sketch plan indicates parking for 8 cars on the gravel lot to the north of the structure and space for another 2 cars in the garage. There are no ADA spaces indicated in the parking area and handicap accessibility into the structure is not addressed.

Figure 6: Site access, traffic and parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-834 PARKING Dimensions	<ul style="list-style-type: none"> • 9'x18' minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8'x16', signed) • May have 10% motorcycle (5x8', signed) 		Parking is indicated for 8 cars at 100'x18', 100'/8 spaces= 12.5'x18' proposed; garage is 22'x22'=enough for two cars at 9'x18' minimum, meets
§122-835 Access	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	To access the front/side entrance residents will need to walk through the parking lot and utilize the public sidewalk to the stairs.	Unchanged, existing non-conforming. Handicap accessibility into the structure needs to be addressed.
Ingress & Egress	<ul style="list-style-type: none"> • Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway 	<ul style="list-style-type: none"> • Aligned across ROW, • >50' from intersection • ~18' shared driveway 	<ul style="list-style-type: none"> • meets • meets • existing non-conforming
Internal Maneuvering	access to off-street parking containing five or more parking spaces shall be a minimum of 10' in width	Concrete drive from N River is ~18', but widens to a distance of ~40' between the buildings	Unchanged
Surfacing		Gravel	Unchanged
Wheel Stops	Required for 5 or more spaces	None	Unchanged, existing non-conforming. Wheel stops should be installed.
Screening & Landscaping (internal)	1 tree per 8 spaces	Multiple trees are internal to the site	Meets

		3'-4' screen 80% opacity where visible from ROW	2 bushes and 2 trees help to screen from ROW	Unchanged, one additional shrub be planted between the 2 existing on the west side of the gravel parking area to screen from the ROW
		Landscaped areas, walls, structures, walks- must be protected by curbing	None	Unchanged, existing non-conforming
§122-836	Motor spaces	Multi-family <i>1.5 for each dwelling unit, plus 1 for each 10 dwelling units for guest parking</i>	1.5*4=6 spaces , plus 1 for guests= 7 total	10 total
	Bicycle spaces	1 per 5 motor spaces, minimum of 2	None	2 bicycle spaces are required
§122-647	SIDEWALKS	provide a sidewalk or shared-use path	Public sidewalk and a path and stairs to access the front entrance	Unchanged, meets
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	A utility pole exists within the at the 10'x10' triangle at the driveway	Unchanged

Items to be Addressed:

1. A handicap parking space and accessibility around the site needs to be addressed. The applicant will need to work with staff to ensure that all provisions of the Michigan Barrier Free Design law are met.
2. Wheel stops should be installed in the parking lot to prevent damage to the structure.
3. One additional shrub could be planted between the two existing to the west of the gravel parking area in order to meet §122-835 for screening of the parking from the ROW.
4. Two bicycle spaces are required. Applicant needs to indicate on sketch plan if there is existing bicycle parking for planning staff review.

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater

management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Engineering site plan review is not required for this project since there are no changes planned to the site, however if the applicant paves the lot, then review would be required.

Items to be Addressed: None

SCREENING

§122-128(8)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 7: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-641 Lighting	<ul style="list-style-type: none"> • Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc 		All lighting is to be full cut-off.
§122-650 Refuse Containers	All trash storage areas must be located in a rear yard or be so located and arranged so as to minimize its visibility from adjacent streets	Unknown	All trash storage areas must be located in a rear yard or be so located and arranged so as to minimize its visibility from adjacent streets.
§122-703 Screening Between Land Uses <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height		Unchanged, existing non-conforming
§122-708 Site Landscaping	10%	Trees and existing landscaping throughout	Meets
§122-712 Maintenance	Readily available and acceptable water supply; may install underground sprinkler system		Existing landscaping is to be maintained.

Items to be Addressed:

1. All lighting is to be full cut-off.

2. All trash storage areas must be located in a rear yard or be located and arranged so as to minimize its visibility from adjacent streets.
3. Existing landscaping is to be maintained.

MASTER PLAN CONSIDERATIONS

§122-128(11)

“An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan.”

Anyone, no matter what age or income, can find a place to call home in Ypsilanti. This action preserves viable, safe, affordable housing and will result in the continued maintenance and care of an existing residence.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission *approve* the Special Use Permit for the 734 N River Apartments with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions: Special use approval shall be subject to approval of site plan.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission *approve* the Site Plan for the 734 N River Apartments with the following findings, waivers, and conditions:

Findings

1. The application substantially complies with §122-127.

Waivers

None

Conditions

1. That the applicant works with staff to ensure that all provisions of the Michigan Barrier Free Design Law are met.
2. The applicant is to plant one additional shrub between the two that exist to the west of the gravel parking area for screening of the parking area from the ROW.
3. Applicant is to install two bicycle spaces or indicate on the sketch plan if these spaces already exist for staff approval.
4. That any lighting on site is to be full cut-off.
5. That the applicant provides a trash storage location on a sketch plan for staff approval. The trash storage needs to be located in the rear yard or arranged to minimize its visibility from adjacent streets.
6. The applicant is to maintain all existing landscaping.

Cynthia Kochanek
Associate Planner, Community & Economic Development Department

CC File
 Applicant

Lot Goes Back another 150'



1 square = 2'

100'

Parking 8 SPACES

Garage
2 SPACES

House

330' ←

FOREST

SIDE WALK

River



April 5, 2016

Staff Review of Site Plan Application
Fire Engine Storage
298 Jarvis

GENERAL INFORMATION

Applicant:	Scott M. Bowers Bowers + Associates 2400 S. Huron Parkway Ann Arbor, MI 48104
Project:	Fire Engine Storage-298 Jarvis
Application Date:	March 4, 2016
Location:	Northwest of the intersection of Jarvis and N Huron St
Zoning:	GC-General Corridor
Action Requested:	Site plan and special use approval for vehicle storage facility
Staff Recommendation:	Approval

PROJECT AND SITE DESCRIPTION

The applicant is applying for a site plan review and a special use application for vehicle storage. The applicant has proposed a 12,651 square foot structure for the storage of fire engines. Plans indicate 10 parking spots, including one handicap accessible parking spot. The facility will not generally be open to the public.

Five existing parcels will be combined and then the 2.44 acre parcel shown on the following pages will be split off. All of the 2.44 acres is vacant and includes frontage on Jarvis St and N Huron St. A rezoning to R-4, multiple family high density residential was approved for 298 Jarvis in 1970 and in 1987 the property was rezoned to M-1, light manufacturing district.

Zoned **GC- General Corridor**, which allows for vehicle storage after approval as a special land use. Vehicle storage facilities are regulated under §122-806, the storage of vehicles is regulated under article XI, division 6 and special land use is regulated under Article V of the zoning code.

Figure 1: Subject Site Location

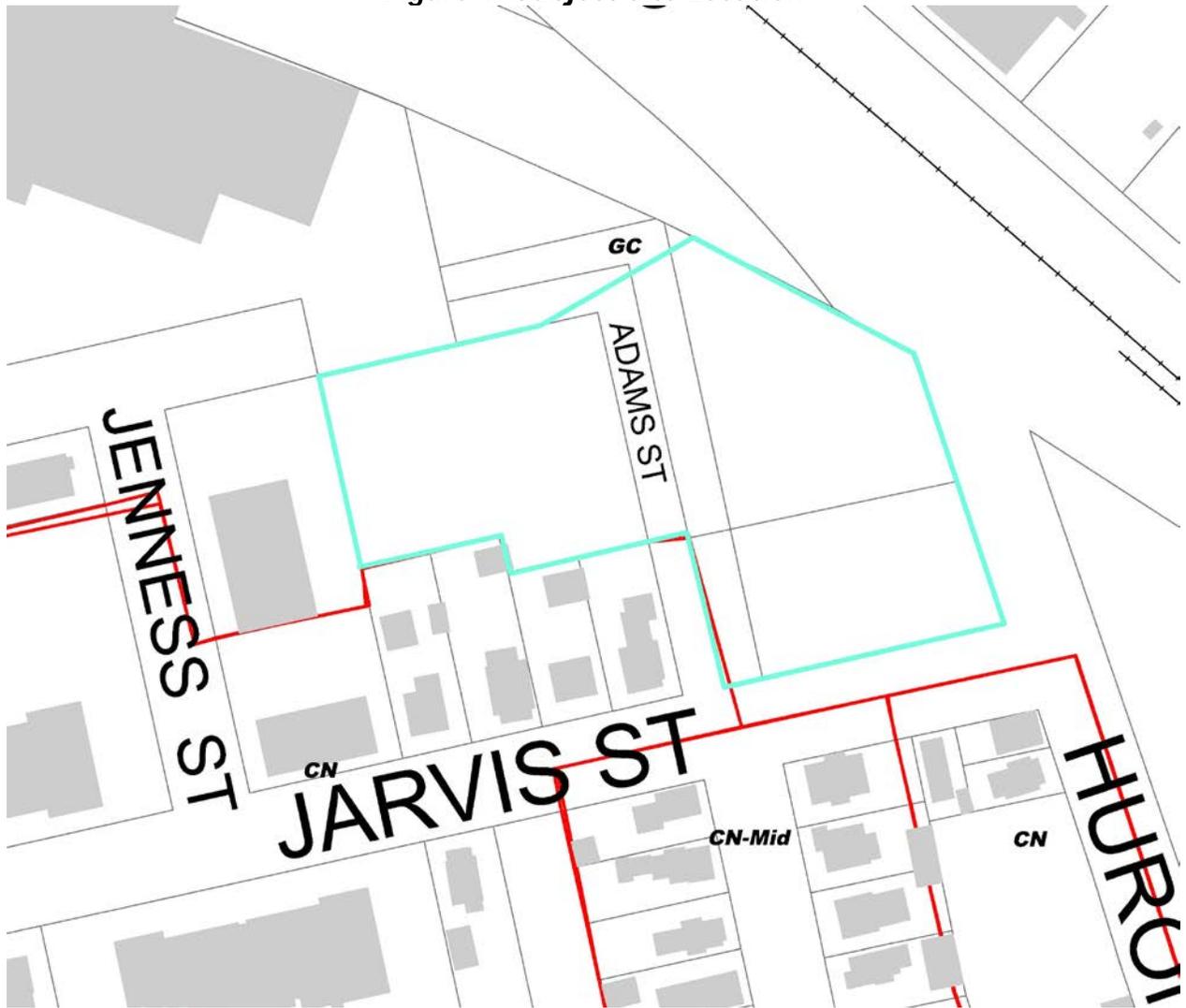


Figure 2: Site Aerial (2015)

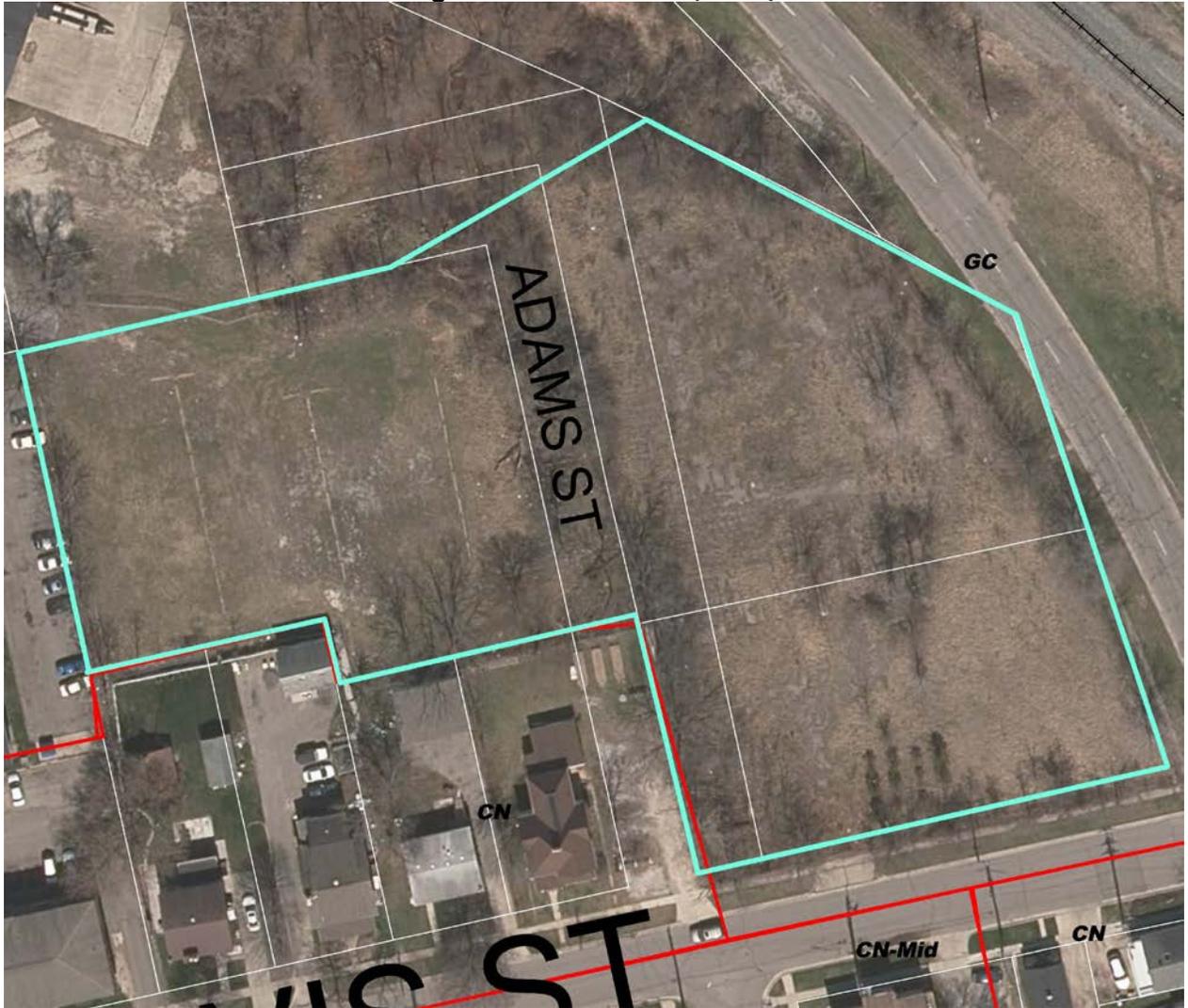


Figure 3: photograph of site



Figure 4: Land Use and Zoning of Surrounding Area

	LAND USE	ZONING
NORTH	Vacant Land	GC- General Corridor
EAST	Self-storage facility	GC- General Corridor
SOUTH	Single Family Residential Multi-Family Residential	CN- Core neighborhood CN-Mid- Core Neighborhood Mid
WEST	Single Family & multi-family Residential	CN- Core neighborhood

SPECIAL USE: CRITERIA AND REVIEW

§122-165(b)

(1) *The proposed use conforms with all the provisions and requirements of this chapter, including site plan review standards (section 122-128) and the applicable site development standards for the specific use, as well as the spirit and intent of this chapter and the Master Plan. The location, scale, and intensity of the proposed use shall be compatible with adjacent uses and the zoning of the land. Height, location and size of buildings shall be compatible with uses and buildings on adjacent properties. The intensity of the proposed use, such as volume, frequency and times of operation, and its compatibility shall be considered.*

COMMENTS: The proposed use conforms to the provisions and requirements of this chapter. The height, location and size of the building is compatible with the sites to the northwest. The structure will be set back from Jarvis and this will create some separation from the houses in the adjacent CN district. The special use is compatible with the zoning of the land. The proposed use of the property is not predicted to add much traffic volume as the structure is planned for storage use. Times of operation are not indicated.

(2) *The proposed use shall promote the use of land in a socially and economically sustainable manner and shall not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or*

public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses, persons and property, as well as public welfare, shall be considered.

COMMENTS: The use should not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property or public welfare. Noise, odor, smoke and potential contamination of air, soil and water and its potential effect on neighboring uses should not be changed once the structure is built however during construction some disruption is expected.

- (3) *The proposed special land use shall be designed, constructed, operated and maintained to assure long-term compatibility with surrounding land uses. Consideration shall be given to the placement, bulk, and height of structures; materials used in construction; location and screening of parking areas, driveways, outdoor storage areas, outdoor activity areas, and mechanical equipment; nature of landscaping and fencing; and hours of operation.*

COMMENTS: The structure will be visible from both Jarvis and N Huron St however street trees will obscure some of the site. The plans propose landscape screening where the parcel will abut the rear property lines of the adjacent CN district. The site will not generate much traffic and noise once completed since storage is the only use planned for the structure. The only time traffic, noise and any debris may be of a concern is during construction, however plans call for the disposal of debris off site and soil erosion and sedimentation control.

- (4) *The proposed special land use shall not present unreasonable adverse impacts on the transportation system. Consideration shall be given to the estimated pedestrian, bicycle and vehicular traffic generated by such use, access to transit, proximity to major thoroughfares, proximity to intersections, required vehicular turning movements, and provisions for pedestrian and bicycle traffic.*

COMMENTS: This project does not create an unreasonable impact on the transportation system. The sidewalk on the N Huron St side will be improved and expanded for the Border to Border trail. As a facility for storage, minimal vehicular traffic impact is expected.

- (5) *The proposed use shall not create additional requirements at public cost for public facilities and services that will be detrimental to the economic sustainability of the community.*

COMMENTS: The proposed use does not create additional requirements at public cost for public facilities and services. All utility work will be done at the owner's expense.

CONDITIONS OF APPROVAL

§122-167

“Reasonable conditions may be required in conjunction with an approval. The conditions may include conditions necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed must do all of the following:

- (1) Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being.*
- (2) Be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.*
- (3) Be necessary to meet the intent and purposes of this chapter, be related to standards established in this chapter, and be necessary to ensure compliance with those standards.”*

Items to be addressed: Times of operation are not indicated on the plans. Planning Commission may limit times of operation and loading and unloading of trucks to reasonable hours.

SITE PLAN: CRITERIA AND REVIEW

§122-128

STANDING

§122-128(1)

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

REQUIREMENTS

§122-128(2)

"The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located."

Figure 5: Requirements

ORDINANCE REFERENCE		REQUIRED		EXISTING CONDITIONS	PROPOSED
IT: §122-274	BUILDING TYPE	Determined by lot size		Vacant	Institutional
LOT REQUIREMENTS					
	Width ft	Min 50	Max block		650' (at widest point)
	Depth ft	Min 100	Max block		390' (at longest point)
	Area sf	Min 5,000	Max --		106,404 sf
	Coverage %	Min --	Max 60%	Vacant	Building footprint: 12,651 sf, paving : 17,017 sf, lot: 106,404 sf; lot coverage=27.88%
BUILDING ENVELOPE AND HEIGHT					
	Street setback ft	Min 15	Max --	Vacant	106'
	Street side setback ft	Min 15	Max --		28'
	Side setback ft	Min 0	Max -		54'
	Rear setback ft	Min 15	Max -		116'
	Height stories	Min 1	Max 4		1
	PARKING PROVISIONS	Location: side, street side and rear yard			Side yard parking is proposed, meets
§122-861 et seq	SIGNAGE	Master sign plan: HC, NC, GC, C, PMD, P; nonres uses in R1, CN-SF, CN-Mid, CN, MD		None	None proposed in plans

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
§122-806 Self-storage facilities and vehicle storage facilities	(1) In the C, NC and GC districts, self-storage and vehicle storage facilities must comply with the regulations for building types.		Meets
	(2) No single storage space shall exceed 500 square feet, except for vehicle storage facilities.		Meets
	(3) Only vehicles may be stored in vehicle storage facilities.		Applicant to note on the site plan that only vehicles may be stored in vehicle storage facilities.
	(4) Adequate security shall be provided and maintained.		Applicant to note on the site plan that adequate security shall be provided and maintained.

Items to be Addressed:

1. Applicant to note on the site plan that only vehicles may be stored in vehicle storage facilities.
2. Applicant to note on the site plan that adequate security shall be provided and maintained for the facility.

BUILDING LOCATION AND SITE ARRANGEMENT

§122-128(3)

"All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter."

The site is currently addressed to 298 Jarvis but will include portions of other parcels to the north and west. The existing chain-link fence, asphalt, building foundations and any bumper blocks will be removed. Overhead utility lines will be relocated and the old curb cut removed. The proposed 12,651 square foot structure will be in the center of the new parcel and will run parallel to N Huron St. The structure will be a pre-engineered metal building. The entrance will be on the west of the structure adjacent to the parking lot. The dumpster enclosure will be to the northwest of the building. There will be two driveways off of Jarvis; the western driveway will approach the property line to the west. The western drive will pass through the 10 parking spaces and curve around to meet the structure on the north side. The east drive runs from the south end of the structure to Jarvis. A detention basin is to be installed to the south of the building and a rain garden to the north.

Items to be Addressed:

1. The planning commission may require that the structure be moved closer to N Huron St property line in order to move the structure farther away from the adjacent residential. However, note that this could affect the "exit drive" functionality, noted in the next section.

SITE ACCESS, TRAFFIC, AND PARKING

§122-128(4)

“With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code.”

Vehicles will utilize the western drive for entering and exiting the site and it is assumed due to the narrowness of the eastern drive that it will be used for one-way traffic exiting the building. Bike and pedestrian access is also from Jarvis but would need to share the driveway with vehicles as there is no sidewalk connecting the structure to the sidewalk on Jarvis. A new 8’ asphalt path is proposed on the N Huron St side for the Border to Border trail. *Note: 10’ is required for the Border to Border trail.* The proposed parking is 10 spaces including one handicap space. No bicycle parking is indicated on the plans and 2 bicycle spaces are required. The closest AAATA bus stop is Lowell St south of E Circle drive. The stop is approximately 900 feet from the project site.

Figure 6: Site Access, Traffic and Parking

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
GC: §122-273 CIRCULATION STANDARDS	Easements: nonmotorized plan, ReImagine Washtenaw, other	This area on N Huron St is specifically mentioned in the nonmotorized plan as a bicycle deficiency.	The change from a sidewalk to a shared use path brings this area into more compliance with the nonmotorized plan.
§122-834 PARKING Dimensions	<ul style="list-style-type: none"> • 9’x18’ minimum, exceptions if adjacent to wall or overhang provided • May have 20% small car (8’x16’, signed) • May have 10% motorcycle (5x8’, signed) 	Parking spaces need to be a min. of 9’x18’.	9’x20’ proposed, meets
§122-835 Access	5’ walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot		No walkway from parking lot or structure is proposed, one is required.

Ingress & Egress	<ul style="list-style-type: none"> • Aligned across ROW, or offset by 25' • >50' from intersection • 20'-30' driveway 		-ROW alignment meets - eastern drive is 37' from intersection, N Huron St is one way traffic -western driveway meets, eastern driveway is 18', needs to be at least 20'
Internal Maneuvering	5 or more parking spaces in off street lot requires 10'+ width		Meets
Surfacing	Surface required to be a durable bonded material in accordance with accepted engineering standards.		See engineering review
Drainage	Graded and drained to public storm sewers		See engineering review
Striping	Required for lots with 5 or more spaces, 3" wide in white or yellow and blue for barrier free		Striping is indicated in plans, 3" wide in white or yellow and blue for barrier free is required
Wheel Stops	Required for lots with 5 or more spaces		6" curbs are indicated for all asphalt paved areas
Lighting	parking and loading facilities utilized during night-time hours shall be artificially illuminated		A lighting plan is included in the plans
Signs	accessory directional signs shall be permitted in parking areas		None indicated in plans
Screening & Landscaping (internal)	1 tree per 8 spaces		Two additional trees are required near the parking spaces
	All aisle-ends & corners protected w curbed island		Meets
Screening & Landscaping (perimeter)	Screened in accordance with 703 if abutting R1, MD, CN, CN-Mid, CN-SF		Most screening already proposed, additional screening needed at the lot line adjacent to Adams St.
	3'-4' screen 80% opacity where visible from ROW		n/a, parking set back from ROW

		Landscaped areas, walls, structures, walks- must be protected by curbing		6" curbs are indicated for all asphalt paved areas
§122-836	Motor spaces	Vehicle, Recreational Vehicle, Storage and Towing	Largest working shift could be up to 10	Meets
	Bicycle spaces	1 per 5 motor spaces, minimum of 2	10 parking spaces= 2 bicycle spaces	None proposed, 2 bicycle spaces are required
122-837	Parking discounts	Transit		Closest transit stop is 900' away
		Alternative Vehicles		None
		Bicycle		None
		PC discretion, special circumstances not listed above		Possible discount for bicycle spaces due to limited use of structure
§122-647	SIDEWALKS	provide a sidewalk or shared-use path		8' wide Border to Border path is proposed along N Huron, this path needs to be 10'. A 4' sidewalk is proposed for Ferris St to match what exists, repair of the existing sidewalk is not addressed. A 5' sidewalk is required for Jarvis.
§122-649	TRAFFIC VISIBILITY	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.		Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8' at 10'x10' driveway triangle and 25'x25' intersection triangle.

Items to be Addressed:

1. Applicant to provide a 5' walkway from the sidewalk on Jarvis to the structure.
2. The eastern drive is 37' from intersection. 50' from the intersection is required by engineering standards. Please work with the City Engineer.
3. The eastern driveway is 18' in width and at least 20' is required unless marked as a one-way.
4. Applicant to indicate that the striping for the lot is to be 3" wide in white or yellow and blue for barrier free.
5. Two additional trees are required near the parking spaces for internal parking lot screening and landscaping.
6. Applicant to provide 2 bicycle spaces.
7. The applicant is to correct the proposed 8' wide Border to Border pathway to the required 10' wide.
8. A 5' sidewalk is required on Jarvis St.

ENGINEERING & STORMWATER

§122-128(6), §122-128(7)

(6) Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.

(7) Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property.

Engineering review is required due to drainage and pavement changes. PC approval is subject to engineer approval.

Items to be Addressed:

See engineering review.

SCREENING

§122-128(8)

"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."

Figure 7: Screening

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
<p>§122-641 Lighting</p>	<ul style="list-style-type: none"> • Dark Sky compliant; may be full cutoff where affecting residential uses • not >0.5 fc @ lot line • not >16'in height • not < 0.3 fc 		<ul style="list-style-type: none"> • dark sky compliant • > 0.5 fc @ lot line near NE corner of abutting residential lot • 10 light poles indicated for lot. Height not indicated.
<p>§122-650 Refuse Containers</p>	<p>masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad</p>		<p>Dumpster enclosure is proposed to have a board on board wood enclosure, masonry enclosure is required</p>
<p>§122-702 Landscape plan</p>			<p>Included</p>
<p>§122-703 Screening Between Land Uses <i>if conflicting use</i></p>	<p>visual buffer of at least 80% opacity and 6' height</p>		<p>A visual buffer is provided at the rear property lines of the abutting CN district, the property line parallel to the proposed west drive needs screening.</p>
<p>§122-704 Street Trees</p>	<p>1 tree per 30' of lineal frontage, centered between sidewalk and back of curb: 405/30=13.5; 224/30=7.47</p>	<p>N Huron St = 14 trees and Jarvis = 8 trees</p>	<p>14 trees proposed for N Huron St and 7 trees proposed for Jarvis, one additional tree is needed along Jarvis</p>
	<p>Conformance with Urban Forestry plan</p>		<p>Plant in conformance with the Urban forestry plan</p>

ORDINANCE REFERENCE	REQUIRED	EXISTING CONDITIONS	PROPOSED
<p>§122-707 Foundation Landscaping <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i></p>	<p>Not required- Institutional building type in GC district.</p> <p>6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area</p> <p>North & South: $100' / 30 * 6 = 20$ shrubs required</p> <p>East & West: $12' / 30 * 6 = 25$ shrubs required</p>		<p>North & South: 20 proposed</p> <p>East & West: 35 on the east and 32 on the west</p>
<p>§122-708 Site Landscaping</p>	<p>10%</p>		<p>10,641 sf required, 68,852.15 sf proposed, meets</p>
<p>§122-710 Exterior Electrical</p>	<p>Screen when visible from any primary visual exposure area</p>		<p>Not shown</p>
<p>122-711 Landscape Elements</p>	<p>Quality, composition, berms, spacing, species</p> <p>Credit for existing vegetation</p>		<p>Meets</p> <p>All existing vegetation is to be removed</p>
<p>§122-712 Maintenance</p>	<p>Readily available and acceptable water supply; may install underground sprinkler system</p>		<p>Plans indicate an automatic underground irrigation system, meets</p>
<p>§122-713 Fencing, hedges, walls, berms</p>	<p>GC: fences, walls, or other screening structures shall not exceed 10' in height, must be constructed in the side or rear yard.</p>		<p>n/a.</p>

Items to be Addressed:

1. Lighting requires > 0.5 fc @ lot line; the photometric indicates that near NE corner of abutting residential lot lighting is above that requirement.
2. Any light poles to be installed need to be less than 16' in height.
3. Applicant to provide a dumpster enclosure that is masonry on three sides with the board on board wood gate.
4. The property line parallel to the proposed west drive needs visual buffer of at least 80% opacity and 6' height.
5. One additional street tree is required along Jarvis.
6. Applicant to adjust the foundation landscaping area to be at least 6' wide in the small area SE of the rain garden with 4 shrubs.
7. No electrical utilities shown except for removals. Submit electrical utility plan as part of engineering review.

OTHER DEPARTMENT AND AGENCY APPROVALS

§122-128(10)

“Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted.”

DEPARTMENT OF PUBLIC SERVICES

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, curbs, and driveways on Jarvis and Huron.

FIRE DEPARTMENT

As applicant is requesting changes to curbcuts and changes to parking area circulation, Fire Department review is required.

MASTER PLAN CONSIDERATIONS

§122-128(11)

“An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan.”

Ypsilanti is sustainable. A rain garden is planned for the site.

Easily walk, bike, drive or take transit from anywhere. This project proposes to add to the Border to Border trail on the N Huron St side thus adding to the walkability and bikeability of Ypsilanti.

Everyone in the region knows Ypsilanti has great things to do in great places that are in great shape. This project will help an area museum with storage of its artifacts thus helping the museum grow with the City.

STAFF RECOMMENDATIONS: SPECIAL USE

Staff recommends the Planning Commission **approve** the Special Use Permit for the Fire Engine Storage at 298 Jarvis with the following findings and conditions:

Findings: The application is substantially in compliance with §122-165(b).

Conditions: Special use approval shall be subject to approval of site plan and the times of operation, loading and unloading of trucks are kept to reasonable business hours.

STAFF RECOMMENDATIONS: SITE PLAN

Staff recommends the Planning Commission **approve** the Site Plan for the Fire Engine Storage at 298 Jarvis with the following findings, waivers, and conditions:

Findings

- 1. The application substantially complies with §122-127.

Waivers

None

Conditions

- 1. Note on the site plan that only vehicles may be stored in the vehicle storage facility and adequate security shall be provided and maintained for the facility.
- 2. Applicant to provide a 5’ walkway from the sidewalk on Jarvis to the structure.

3. Applicant shall work with engineering and staff to ensure that the driveway distance from the intersection of Huron and Jarvis is acceptable.
4. The applicant shall adjust the width of the eastern driveway to the required 20', or sign and use as one-way.
5. Applicant to indicate that the striping for the lot is to be 3" wide in white or yellow and blue for barrier free.
6. Applicant shall provide two additional trees near the parking area for internal parking lot screening and landscaping.
7. Applicant to provide 2 bicycle spaces.
8. The applicant is to correct the proposed 8' wide Border to Border pathway to the required 10' wide.
9. Applicant to provide a 5' sidewalk along Ferris St.
10. The applicant is to adjust the lighting near the NE corner of the abutting residential lot to meet the requirement of $> 0.5 \text{ fc}$ @ lot line and submit for staff review.
11. Any light poles to be installed need to be less than 16' in height.
12. Applicant to provide a dumpster enclosure that is masonry on three sides with a board on board wood gate.
13. Provide a visual buffer of at least 80% opacity and 6' height along the property line parallel to the proposed west drive.
14. Provide one additional street tree along Jarvis.
15. Adjust the foundation landscaping area to be at least 6' wide in the area just west of the door on the north side of the structure with 4 shrubs.

Cynthia Kochanek
Associate Planner, Community & Economic Development Department

CC File
 Applicant
 Scott M. Bowers, Bowers + Associates



ARCHITECTS. ENGINEERS. PLANNERS.

April 15, 2016

City of Ypsilanti
Planning and Development Department
One South Huron Street
Ypsilanti, Michigan 48197

Attention: Ms. Bonnie Wessler

Regarding: Fire Engine Storage
Site Plan Review No. 1
OHM Job No. 0094-16-1020

Dear Ms. Wessler:

The applicant is requesting site plan approval for construction of a Fire Engine Storage facility on the northwest corner of Huron River Drive and Jarvis Street. We have reviewed the plans dated January 29, 2016 and recommend site plan approval at this time. The following items shall be addressed prior to submitting the plans for engineering plan review:

1. Verify limits of sidewalk construction. Preliminary Site Plan (SP1.00), the Demolition Plan (C2) and Paving and Grading Plan (C3) shall be consistent with one another.
2. Provide cross section for the driveway approaches.
3. Minimum driveway width is 26 feet measured from the back of curb. Verify this for the proposed west drive.
4. Provide proposed cross section for the asphalt path.
5. Sufficient grades are required to verify the path is ADA compliant at Jarvis Street.
6. Verify drawing scales.
7. Curb shall extend through the rip rap areas. Spillways in the curb shall be provided to allow for drainage.
8. Maximum dead end length of a 6-inch hydrant lead is 40 feet.
9. Pavement removals and repair shown shall include areas required for water main connections.
10. Verify water main valves called for on the plan.
11. Underdrain shall be provided in the rain garden area.
12. Provide proposed concrete cross section for the dumpster pad.
13. Verify asphalt removals. Area shown greatly exceeds removal quantity and no asphalt surface shown on provided topo.

If you have any questions, please contact me at (734) 522-6711.

Sincerely,

OHM Advisors

Marcus McNamara

CC: Stan Kirton, Department of Public Works, One South Huron Street, Ypsilanti, MI 48197
File

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Fire Engine Storage Building
B+A Project #: 13-223-01

Project Description:

This project consists of a 12,651 square foot building on a 2.44 acre site at the corner of Huron River Drive and Jarvis Street. The building is a single story pre-engineered metal clear span structure. The Michigan Firehouse Museum will be using the building to store and display fire engines.

FIRE ENGINE STORAGE

298 JARVIS STREET YPSILANTI, MICHIGAN

OWNER/DEVELOPER:

MICHIGAN FIREHOUSE MUSEUM
110 West Cross Street
Ypsilanti, Michigan 48197
Ph: (734) 547-0663

ARCHITECT/PLANNER:

BOWERS + ASSOCIATES, INC.
2400 South Huron Parkway
Ann Arbor, Michigan 48104
Ph: 734-975-2400 Fax: 734-975-2410

CIVIL ENGINEER:

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave
Pontiac, Michigan 48342
Ph: 248-332-7931 Fax: 248-332-8257

DRAWING INDEX

ARCHITECTURAL

T1.00 TITLE SHEET
SP1.00 SITE PLAN
A1.00 FLOOR PLAN
A5.00 EXTERIOR ELEVATIONS
PH1.00 PHOTOMETRIC

CIVIL

C1 BOUNDARY/ TOPOGRAPHIC SURVEY
C2 DEMOLITION PLAN
C3 PAVING AND GRADING PLAN
C4 UTILITY PLAN
C5 SOIL EROSION CONTROL/ STORM WATER MANAGEMENT

LANDSCAPE

L1 LANDSCAPE PLAN



BOWERS+ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION
FIRE ENGINE STORAGE
298 JARVIS STREET
YPSILANTI, MICHIGAN

PROJECT + NUMBER

13-223-01

ISSUE + DATE

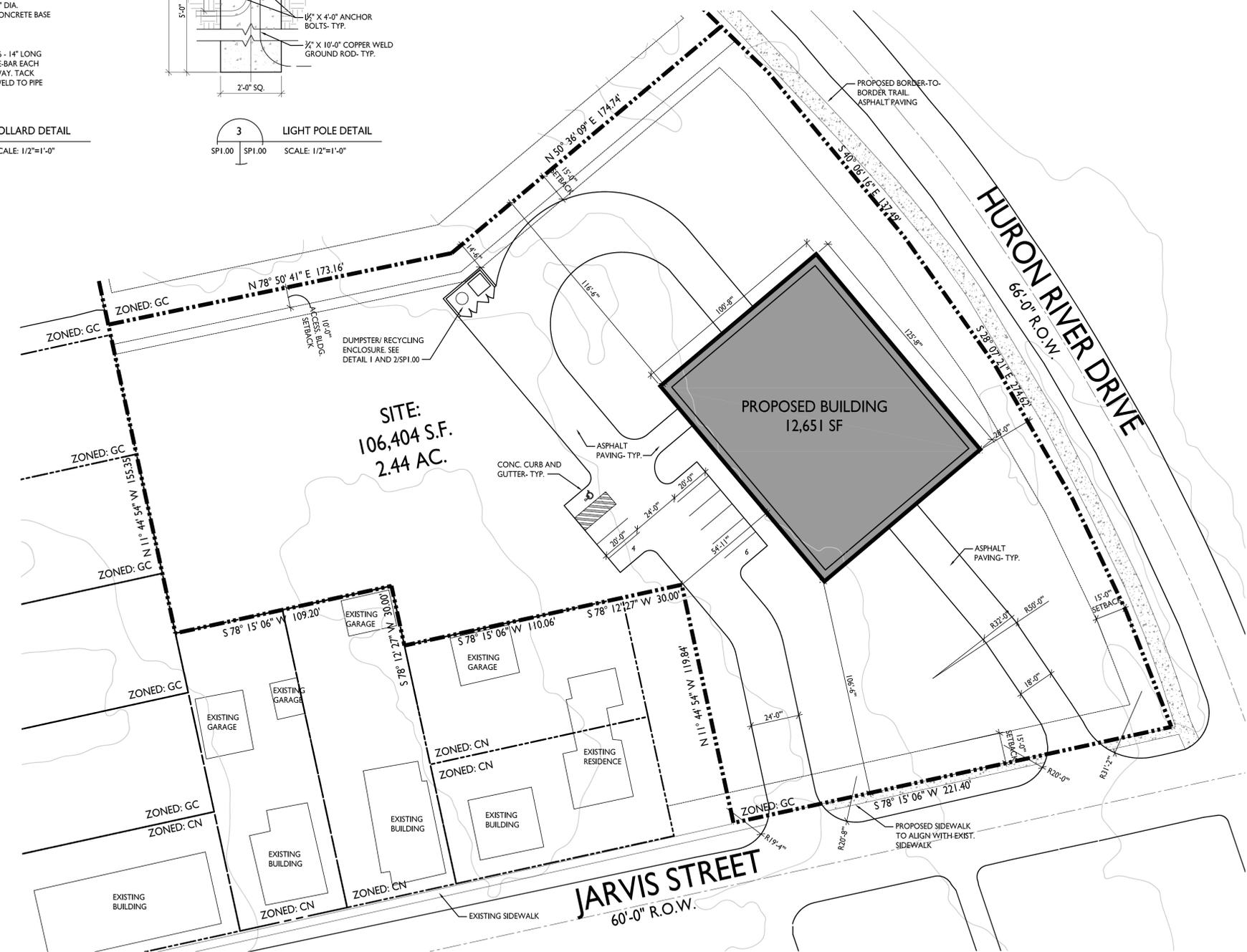
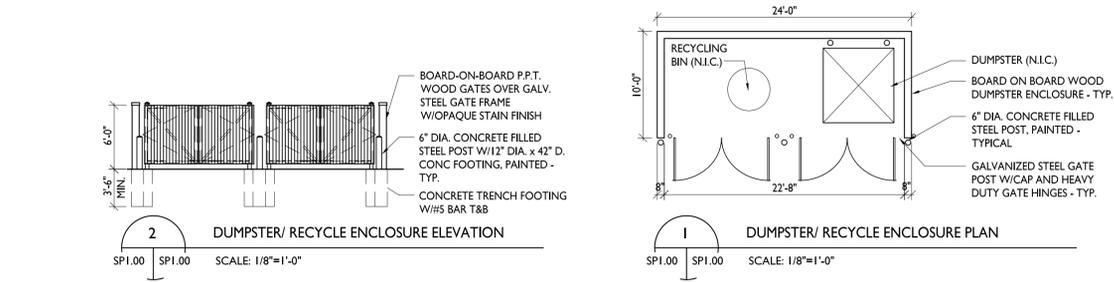
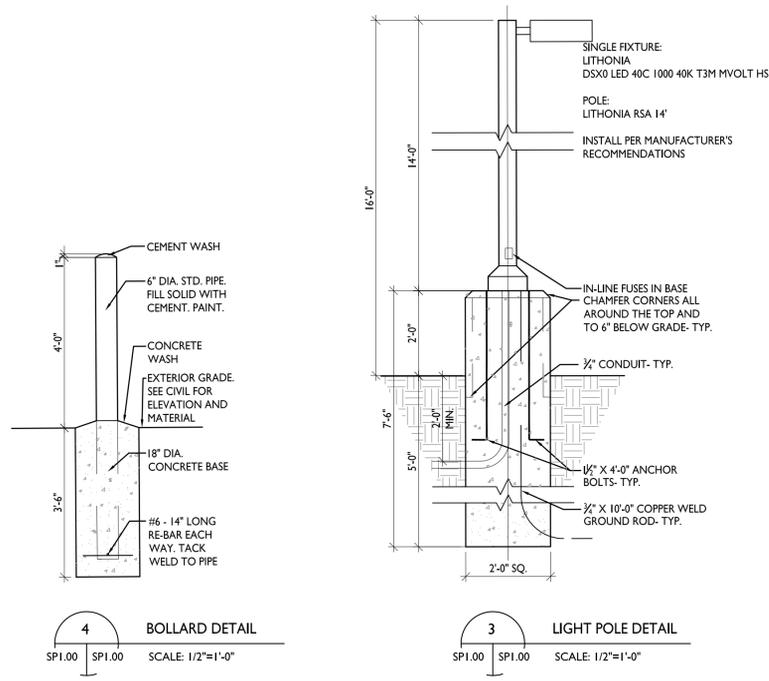
15 SEPT 2015	O. REV.
19 OCT 2015	O. REV.
2 NOV 2015	OWN. REV.
10 DEC 2015	
29 FEB 2016	SITE REV

SHEET + TITLE
TITLE SHEET

13223-02T100.DWG

SHEET + NUMBER

T1.00



PRELIMINARY SITE PLAN
SCALE: 1"=30'

OWNER/DEVELOPER

MICHIGAN FIREHOUSE MUSEUM
110 W. CROSS STREET
YPSILANTI, MI 48197
T: 734.547.0663

ARCHITECT/PLANNER

BOWERS + ASSOCIATES, INC.
2400 S. HURON PARKWAY
ANN ARBOR, MI 48104
T: 734.975.2400
F: 734.975.2410

SITE/BUILDING DATA

PARCEL SIZE	106,404 SQ. FT. (2.44 ACRES)
EXISTING ZONING	GC (GENERAL CORRIDOR)
PROPOSED ZONING	GC (GENERAL CORRIDOR)
PROPOSED USE	SINGLE STORY COMMERCIAL
REQUIRED FRONT SETBACK	15' MAX.
PROPOSED FRONT SETBACK	106'-6"
REQUIRED SIDE SETBACK	28'-0"
PROPOSED SIDE SETBACK	0'
REQUIRED REAR SETBACK	54'-11"
PROPOSED REAR SETBACK	15' MIN. (25' ADJ. TO SINGLE FAMILY RES.)
MAX. BUILDING HEIGHT	10' MIN. @ ACCESSORY BLDG
PROPOSED BUILDING HEIGHT	116'-5"
PROPOSED LOT AREA	(1) STORY
REQUIRED LOT COVERAGE	32'-3/4" (TOP OF ROOF MIDPOINT)
PROPOSED LOT COVERAGE	(1) STORY
	12,651 SQ. FT.
	60% MAX. (63,842 S.F.)
	27.6% (29,328 S.F.)

PARKING DATA

VEHICLE PARKING REQUIRED	(1) PER EMPLOYEE
PARKING PROVIDED	10 SPACES

LANDSCAPE DATA

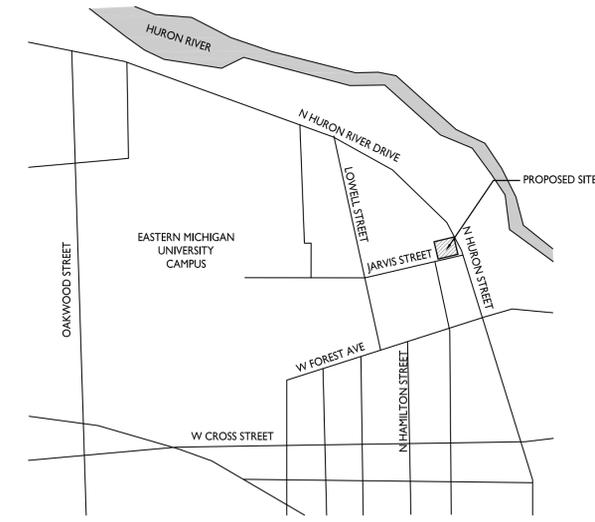
LANDSCAPING REQUIRED	MEETS LOCAL REQUIREMENTS
LANDSCAPING PROVIDED	TO MEET LOCAL REQUIREMENTS

LEGAL DESCRIPTION

Part of the SW 1/4 of Section 4, T.3S., R.7E., City of Ypsilanti, Washtenaw County Michigan, also part of lots 1 and 2, all of Lots 9 through 13, all of lots 15 through 17, lot 24, lot 27, part of vacated St. John's Street, the East 1/2 of Adams Street adjoining lots 9 and 10 vacated by the City of Ypsilanti, in the year 1904, and all that portion of St. John's Street and Adams Street adjoining said lots of "Scovill and Tuttle Subdivision" as recorded in Liber I of Plats, Page 26, Washtenaw County Records, of Lots 9, 10, 11, 12, 13, 39, a part of Lots 38 and 40, and a portion of unnumbered land Southeast of the numbered Lots in Jarvis' Original Addition to Ypsilanti in the SW 1/4 of Section 4, T3S, R7E, as recorded in Liber I of Plats, Page 26, Washtenaw County Records, being more particularly described as: Commencing at the Southwest corner of said Lot 27; thence, N 11° 44' 54" W, 155.35 feet; thence N 78° 50' 41" E, 173.16 feet; thence N 50° 36' 09" E, 174.74 feet; thence 137.60 feet along an arc of a curve to the right, (radius 978.03 feet, central angle 08° 03' 40", chord bears S 40° 06' 16" E, 137.49 feet); thence 275.83 feet along an arc of a curve to the right, (radius 849.86 feet, central angle 18° 35' 45", chord bears S 28° 07' 21" E, 274.62 feet); thence S 78° 15' 06" W, 221.40 feet; thence, N 11° 44' 54" W, 119.84 feet; thence S 78° 12' 27" W, 30.00 feet; thence S 78° 15' 06" W, 110.06 feet; thence N 11° 44' 54" W, 30.00 feet; thence S 78° 15' 06" W 109.20 feet to the point of beginning. Containing 106,404 square feet or 2.443 acres.

GENERAL NOTES

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL MEET LOCAL MUNICIPALITY ORDINANCE REQUIREMENTS.



LOCATION MAP
NO SCALE

BOWERS ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
WWW.BOWERSARCH.COM

CONSULTANT + NAME

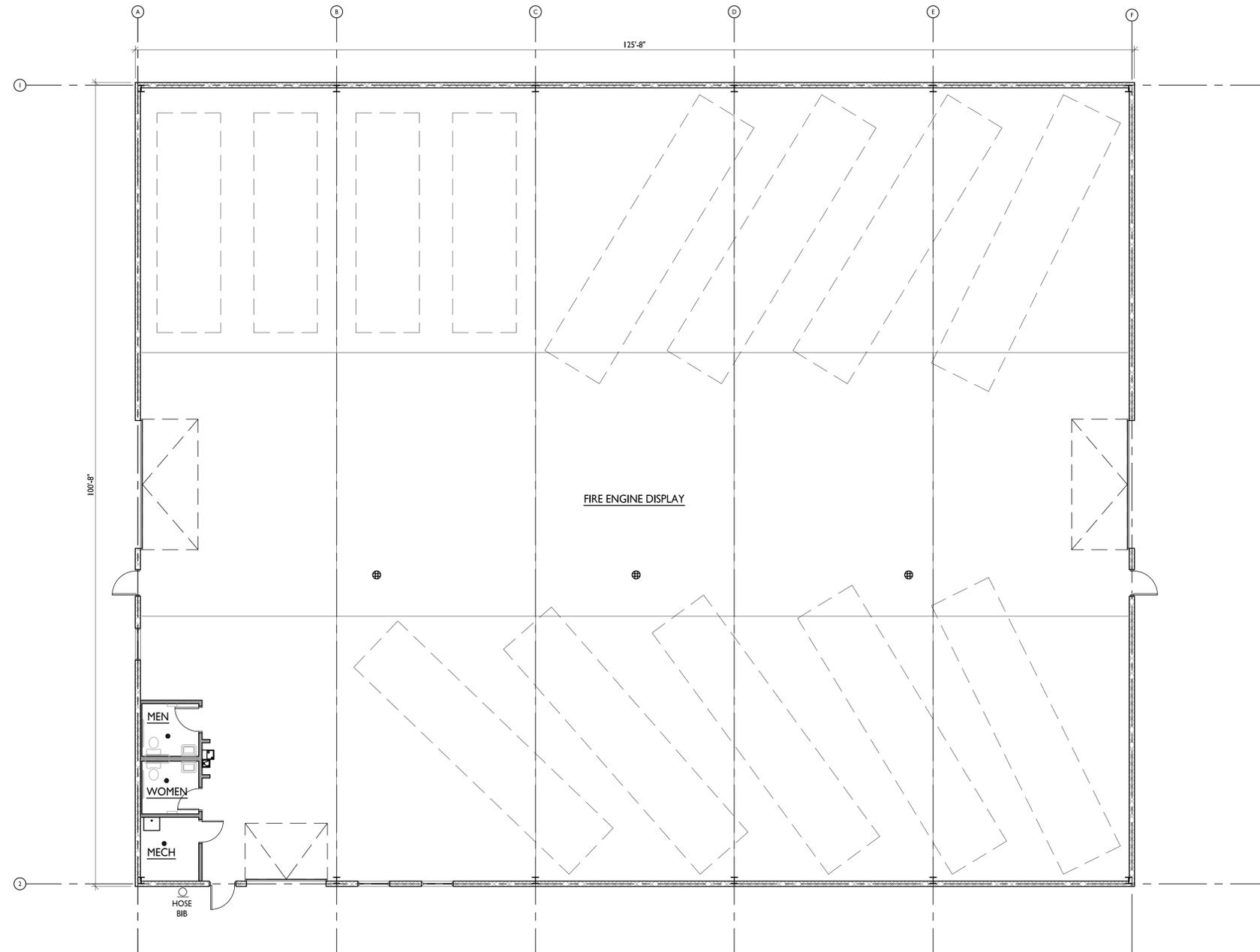
PROJECT + INFORMATION
FIRE ENGINE STORAGE
298 JARVIS STREET
YPSILANTI, MICHIGAN

PROJECT + NUMBER
13-223-01

ISSUE + DATE
15 SEPT 2015 O. REV.
19 OCT 2015 O. REV.
2 NOV 2015 CONTR
10 DEC 2015 SITE REV
29 JAN 2016

SHEET + TITLE
PRELIMINARY
SITE PLAN
132232100f.dwg

SHEET + NUMBER
SP1.00



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: FINISHES AS
SELECTED BY OWNER

BOWERS ASSOCIATES
ARCHITECTURE DESIGN
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104
P: 734.975.2400 • F: 734.975.2410
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CONSULTANT + NAME

PROJECT + INFORMATION
FIRE ENGINE STORAGE
298 JARVIS STREET
YPSILANTI, MICHIGAN

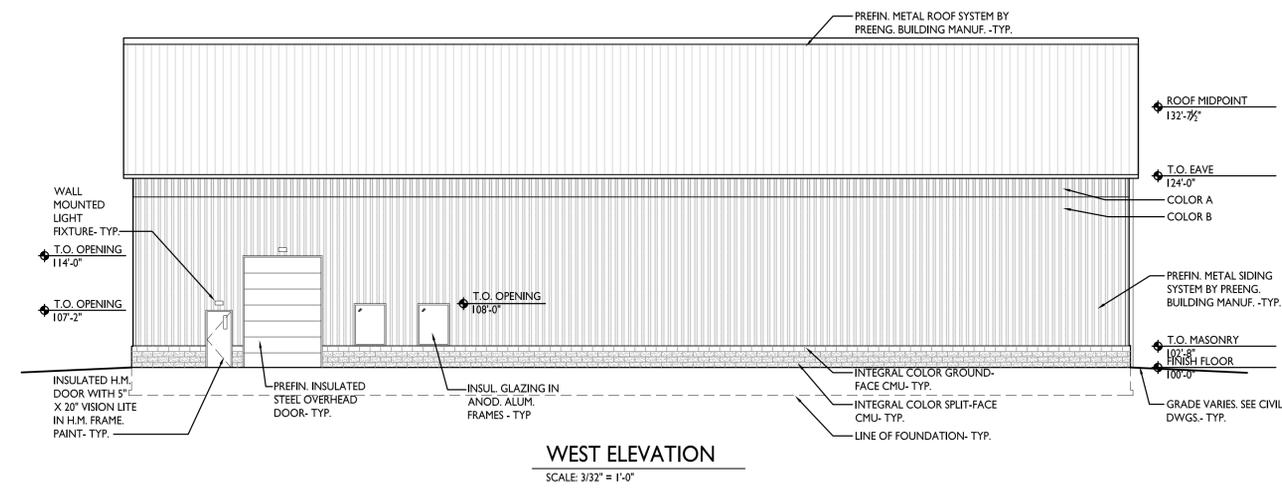
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13-223-01

ISSUE + DATE

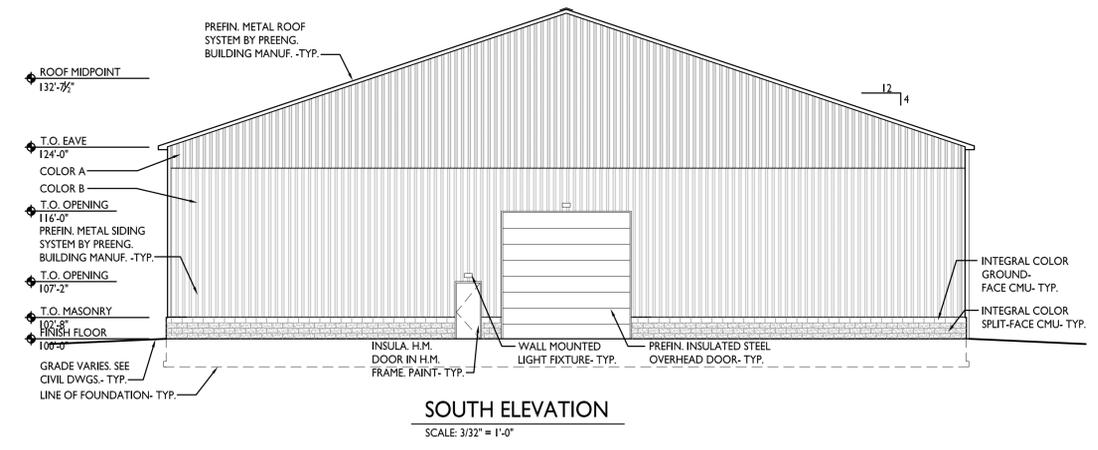
15 SEPT 2015	O. REV.
19 OCT 2015	O. REV.
2 NOV 2015	CONTR
10 DEC 2015	
29 JAN 2016	SITE REV

SHEET + TITLE
FLOOR PLAN
13223-02MAST.dwg

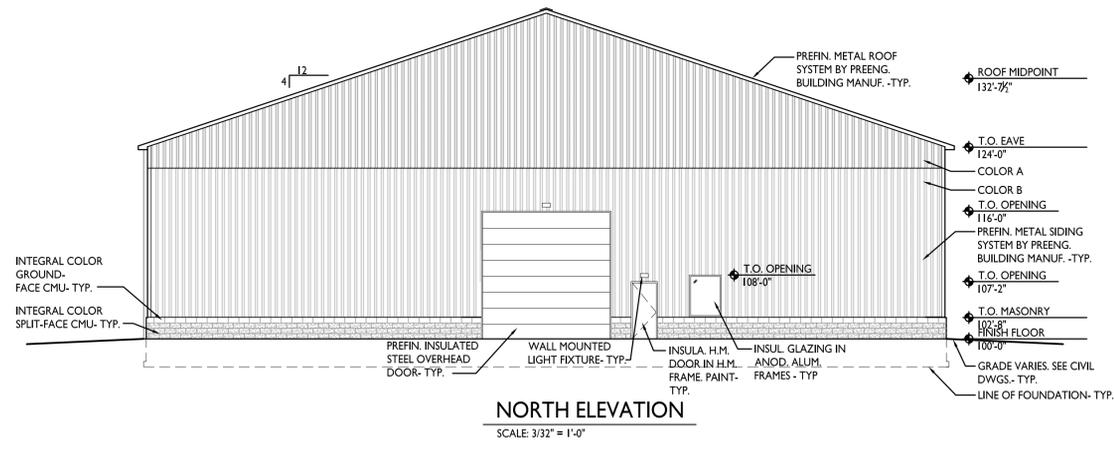
SHEET + NUMBER
A1.00



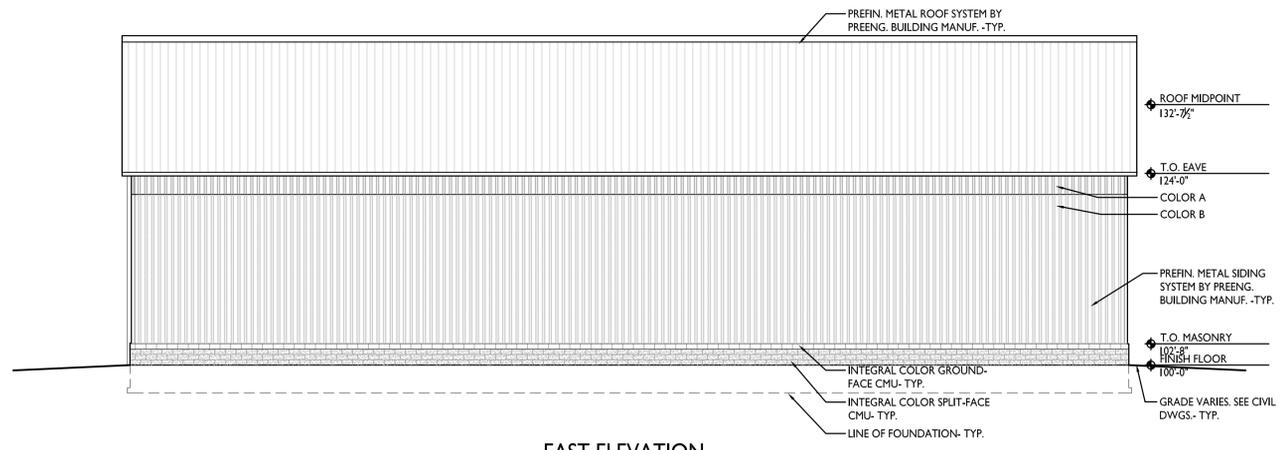
WEST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Description	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	10	Lithonia Lighting	DSX0 LED 40C 1000 40K T3M MVOLT HS	LED	DSX0 LED with 40 LEDs @1000 mA, 4000K, Type 3 Medium Optics with HOUSE-SIDE SHIELD	DSX0_LED_40C_1000_40K_T3M_MVOLT_HS.ies	11923	1	138
	C	3	Lithonia Lighting	DSXW1 LED 10C 700 30K T2M MVOLT ELCW	LED	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 700mA DRIVER, 3000K LED, TYPE 2 MEDIUM OPTIC, OPERATING IN EMERGENCY MODE	DSXW1_LED_10C_700_30K_T2M_MVOLT_ELCW.ies	1259	1	27



D-Series Size 0 LED Area Luminaire

Specifications
 EPA: 0.8 ft²
 Length: 26" (660mm)
 Width: 13" (330mm)
 Height: 7" (178mm)
 Weight: 16 lbs (7.3kg)

Ordering Information
 EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DBXBD

Series	LEDs	Color Temp	Beam Spread	Disturbance	Rating	Mounting	Control Option
DSX0 LED	40	3000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	4000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	5000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	6000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	7000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	8000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	9000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSX0 LED	40	10000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included

Controls & Shields

Accessories

One Lithonia Way • Conyers, Georgia 30013 • Phone: 800.279.8041 • Fax: 770.919.5289 • www.lithonia.com



D-Series Size 1 LED Wall Luminaire

Specifications Luminaire
 Width: 13.34" (339mm)
 Depth: 3.5" (89mm)
 Height: 6.5" (165mm)

Back Box (BBW, ELCW)
 Width: 13.34" (339mm)
 Depth: 4" (102mm)
 Height: 6.5" (165mm)

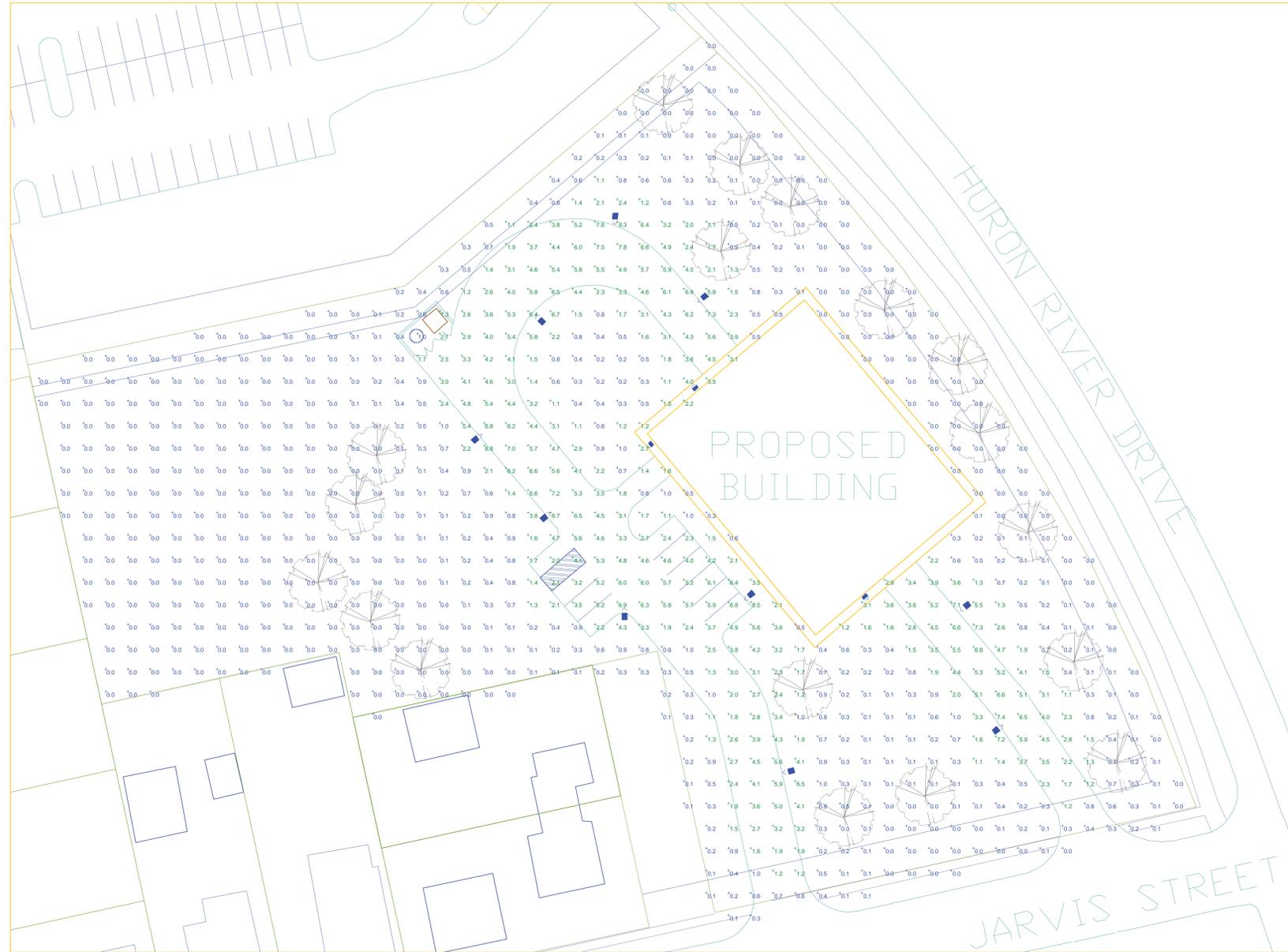
Ordering Information
 EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DBDXTD

Series	LEDs	Color Temp	Beam Spread	Disturbance	Rating	Mounting	Control Option
DSKW1 LED	20	3000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	4000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	5000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	6000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	7000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	8000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	9000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included
DSKW1 LED	20	10000K	30°	Typ 3 Disturbance	ESD	Splice pole mounting	Shipped included

Controls & Shields

Accessories

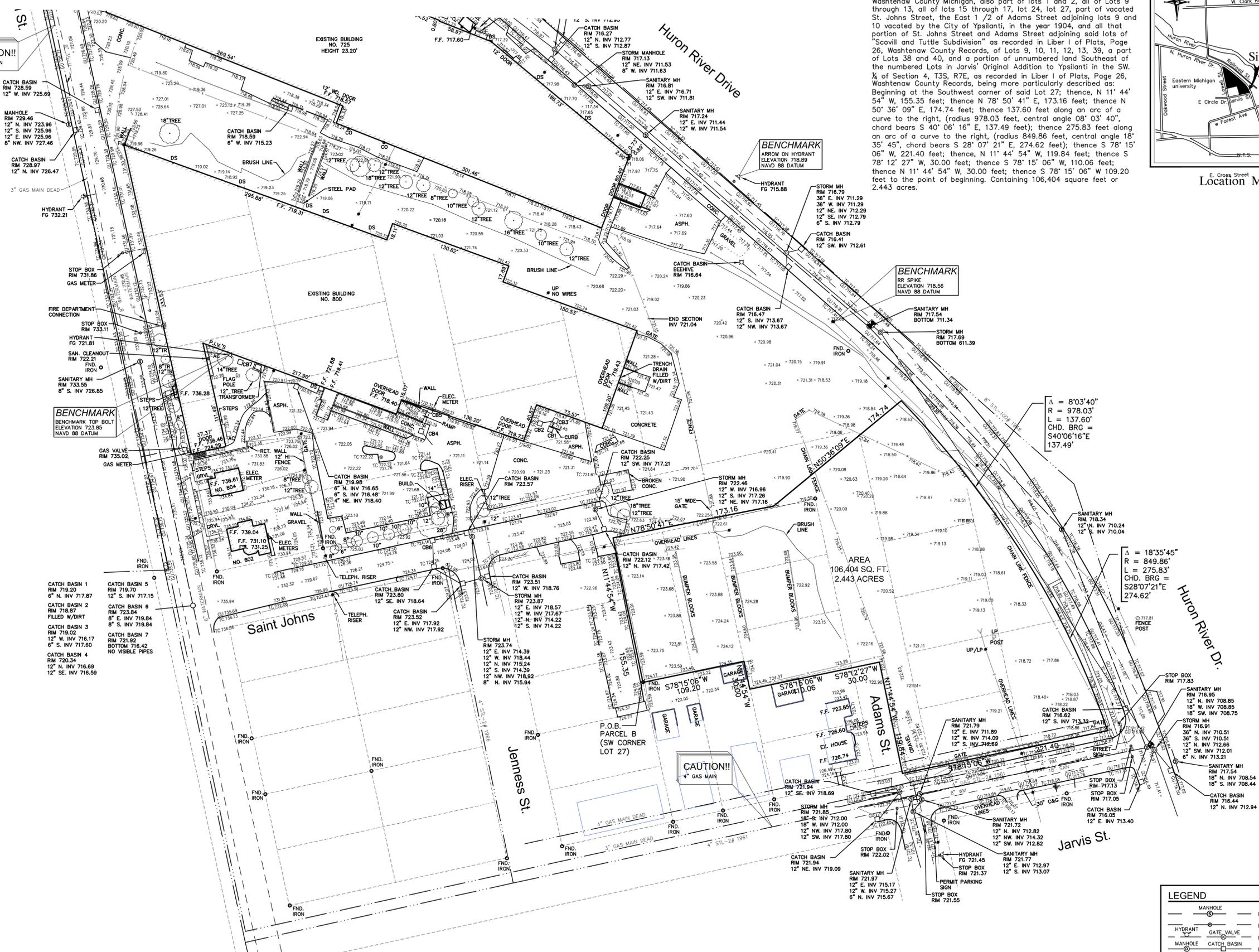
One Lithonia Way • Conyers, Georgia 30013 • Phone: 800.279.8041 • Fax: 770.919.5289 • www.lithonia.com



Plan View
Scale = 1" = 30'



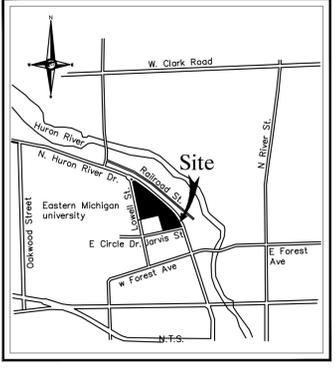
CAUTION!!
8" GAS MAIN



- CATCH BASIN 1
RIM 719.20
6" N. INV 717.87
- CATCH BASIN 2
RIM 718.87
FILLED W/DIRT
- CATCH BASIN 3
RIM 719.02
12" W. INV 716.17
6" S. INV 717.60
- CATCH BASIN 4
RIM 720.34
12" N. INV 716.69
12" SE. INV 716.59
- CATCH BASIN 5
RIM 719.70
12" S. INV 717.15
- CATCH BASIN 6
RIM 723.54
8" E. INV 719.84
8" S. INV 719.84
- CATCH BASIN 7
RIM 721.92
BOTTOM 716.42
NO VISIBLE PIPES

LEGAL DESCRIPTION

Part of the SW ¼ of Section 4, T.3S., R.7E., City of Ypsilanti, Washtenaw County Michigan, also part of lots 1 and 2, all of Lots 9 through 13, all of lots 15 through 17, lot 24, lot 27, part of vacated St. Johns Street, the East 1/2 of Adams Street adjoining lots 9 and 10 vacated by the City of Ypsilanti, in the year 1904, and all that portion of St. Johns Street and Adams Street adjoining said lots of "Scovill and Tuttle Subdivision" as recorded in Liber I of Plats, Page 26, Washtenaw County Records, of Lots 9, 10, 11, 12, 13, 39, a part of Lots 38 and 40, and a portion of unnumbered land Southeast of the numbered Lots in Jarvis' Original Addition to Ypsilanti in the SW ¼ of Section 4, T.3S., R.7E., as recorded in Liber I of Plats, Page 26, Washtenaw County Records, being more particularly described as: Beginning at the Southwest corner of said Lot 27; thence, N 11° 44' 54" W, 155.35 feet; thence N 78° 50' 41" E, 173.16 feet; thence N 50° 36' 09" E, 174.74 feet; thence 137.60 feet along an arc of a curve to the right, (radius 978.03 feet, central angle 08° 03' 40", chord bears S 40° 06' 16" E, 137.49 feet); thence 275.83 feet along an arc of a curve to the right, (radius 849.86 feet, central angle 18° 35' 45", chord bears S 28° 07' 21" E, 274.62 feet); thence S 78° 15' 06" W, 221.40 feet; thence, N 11° 44' 54" W, 119.84 feet; thence S 78° 12' 27" W, 30.00 feet; thence S 78° 15' 06" W, 110.06 feet; thence N 11° 44' 54" W, 30.00 feet; thence S 78° 15' 06" W 109.20 feet to the point of beginning. Containing 106,404 square feet or 2.443 acres.



Location Map



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

PROJECT
Lowell & Huron River Dr.

CLIENT
Bowers and Associates
2400 South Huron Parkway
Ann Arbor, MI 48104

Contact: Scott Bowers
Phone: (734) 975-2400
Fax: (734) 975-2410

PROJECT LOCATION
Part of the SW ¼ of Section 4
T.3S., R.7E.
City of Ypsilanti,
Washtenaw, Michigan

SHEET
Boundary / Topographic
Survey



REVISIONS
00-00-00

DRAWN BY:
N. Naoum

DESIGNED BY:

APPROVED BY:
K. Navaroli

DATE:
2-22-2016

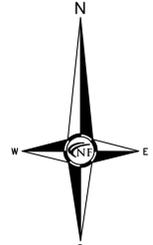
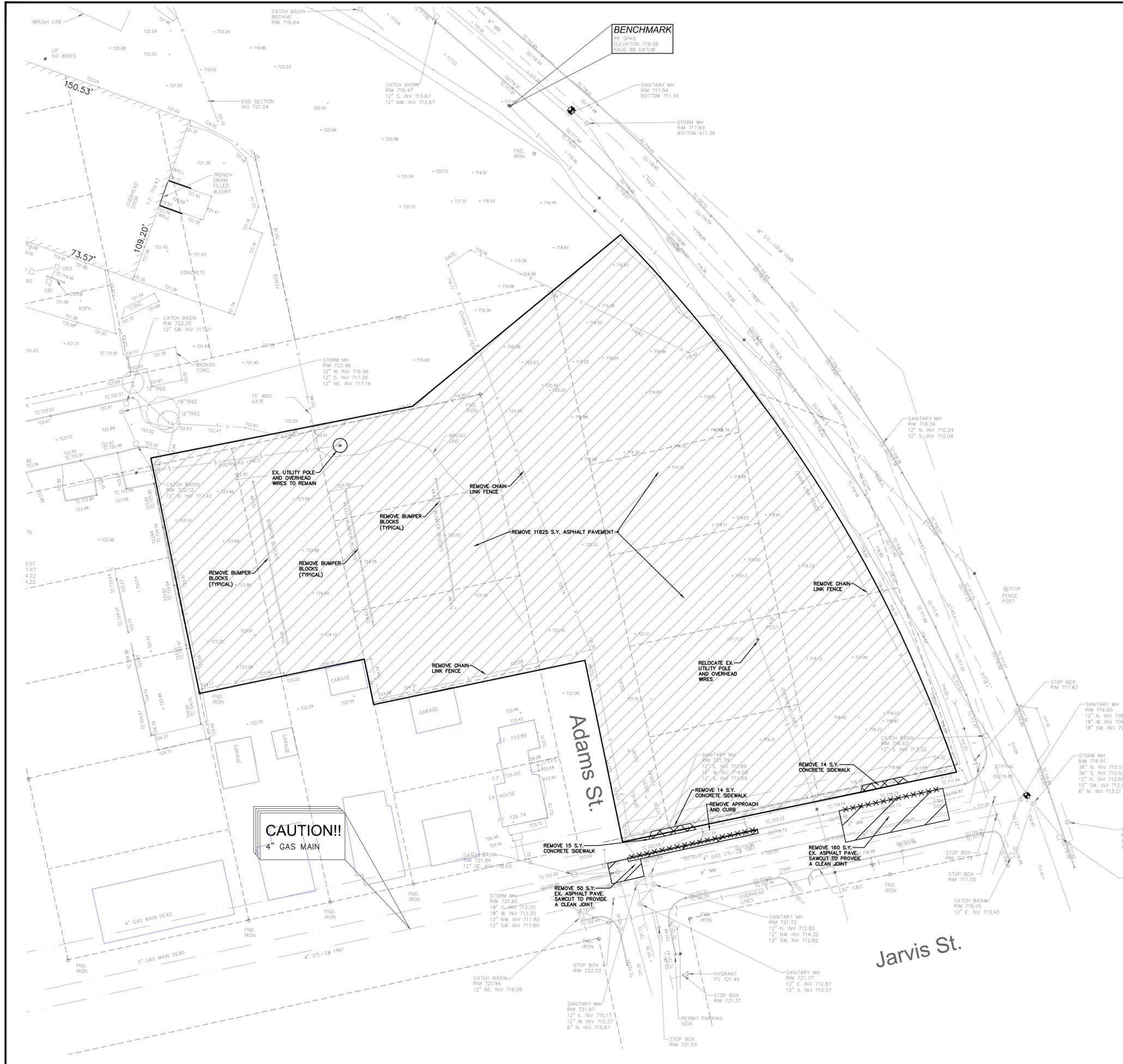
SCALE: 1" = 50'

NFE JOB NO. SHEET NO.
1807 C1

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	CATCH BASIN		EXISTING STORM SEWER
	CURB		EX. R.Y. CATCH BASIN
	UTILITY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	EXISTING GAS MAIN		

TOPOGRAPHIC SURVEY NOTES
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.



E. Cross Street
Location Map



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKewise SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHCON. REMOVAL OF CONSUMERS ENERGY/ MICHCON GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHCON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERICTECH. REMOVAL OF AMERICTECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERICTECH.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH #200 MESH CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED

SEAL

PROJECT
Lowell & Huron River Dr.

CLIENT
Bowers and Associates
2400 South Huron Parkway
Ann Arbor, MI 48104

Contact: Scott Bowers
Phone: (734) 975-2400
Fax: (734) 975-2410

PROJECT LOCATION
Part of the SW 1/4
of Section 4
T.3S., R.7E.
City of Ypsilanti,
Washtenaw, Michigan

SHEET
Demolition Plan



REVISIONS
00-00-00

DRAWN BY:
N. Naoum

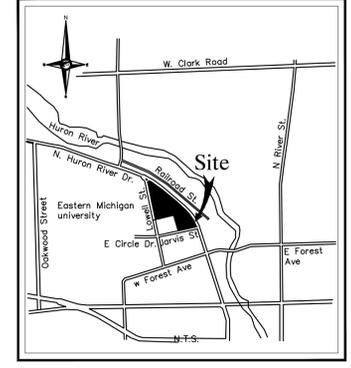
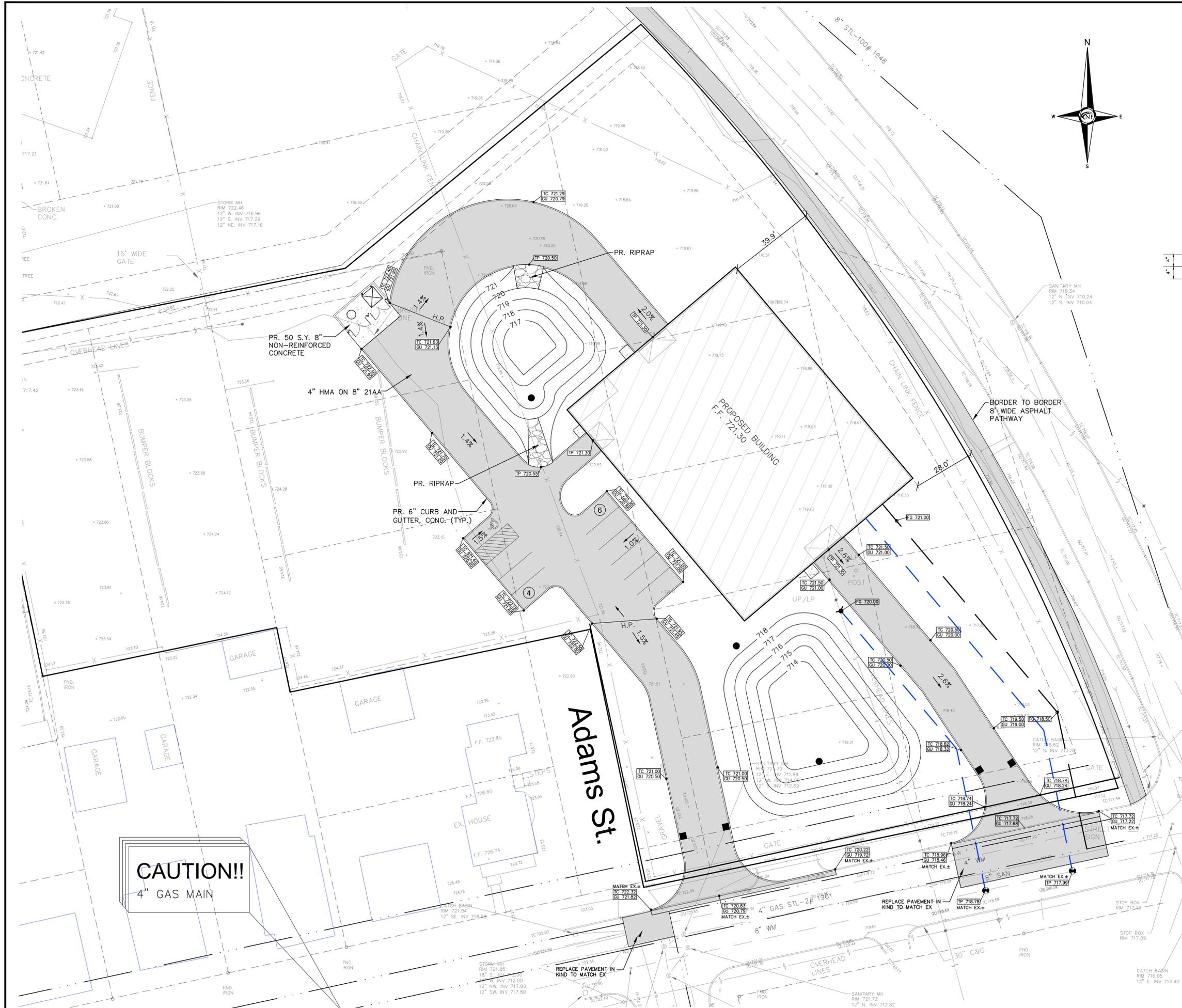
DESIGNED BY:
M. Peterson

APPROVED BY:
M. Peterson

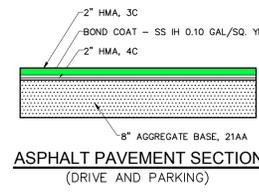
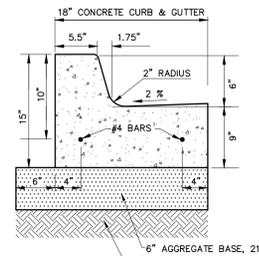
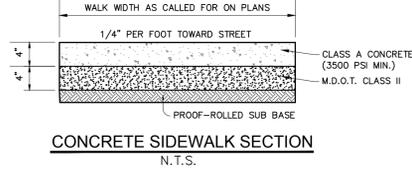
DATE:
2-22-2016

SCALE: 1" = 30'

NFE JOB NO. 1807 SHEET NO. C2



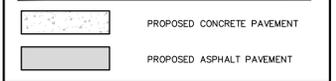
E. Cross Street
Location Map



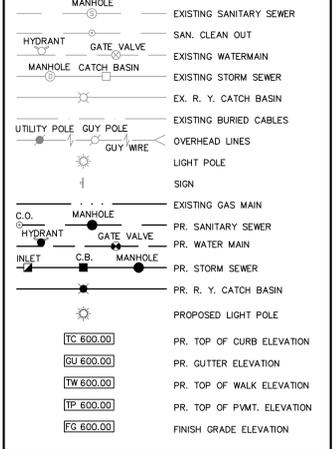
ESTIMATED QUANTITIES PAVING

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	221	TON
ASPHALT PATH	435	S.Y.
4" CONCRETE SIDEWALK	70	S.F.
8" NON-REINFORCED CONCRETE	50	S.Y.
6" CONCRETE CURB & GUTTER	1382	L.F.

PAVING LEGEND



LEGEND



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

PROJECT
Lowell & Huron River Dr.

CLIENT
Bowers and Associates
2400 South Huron Parkway
Ann Arbor, MI 48104

Contact: Scott Bowers
Phone: (734) 975-2400
Fax: (734) 975-2410

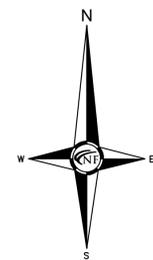
PROJECT LOCATION
Part of the SW 1/4 of Section 4
T.3S., R.7E.
City of Ypsilanti,
Washtenaw, Michigan

SHEET
Paving & Grading Plan

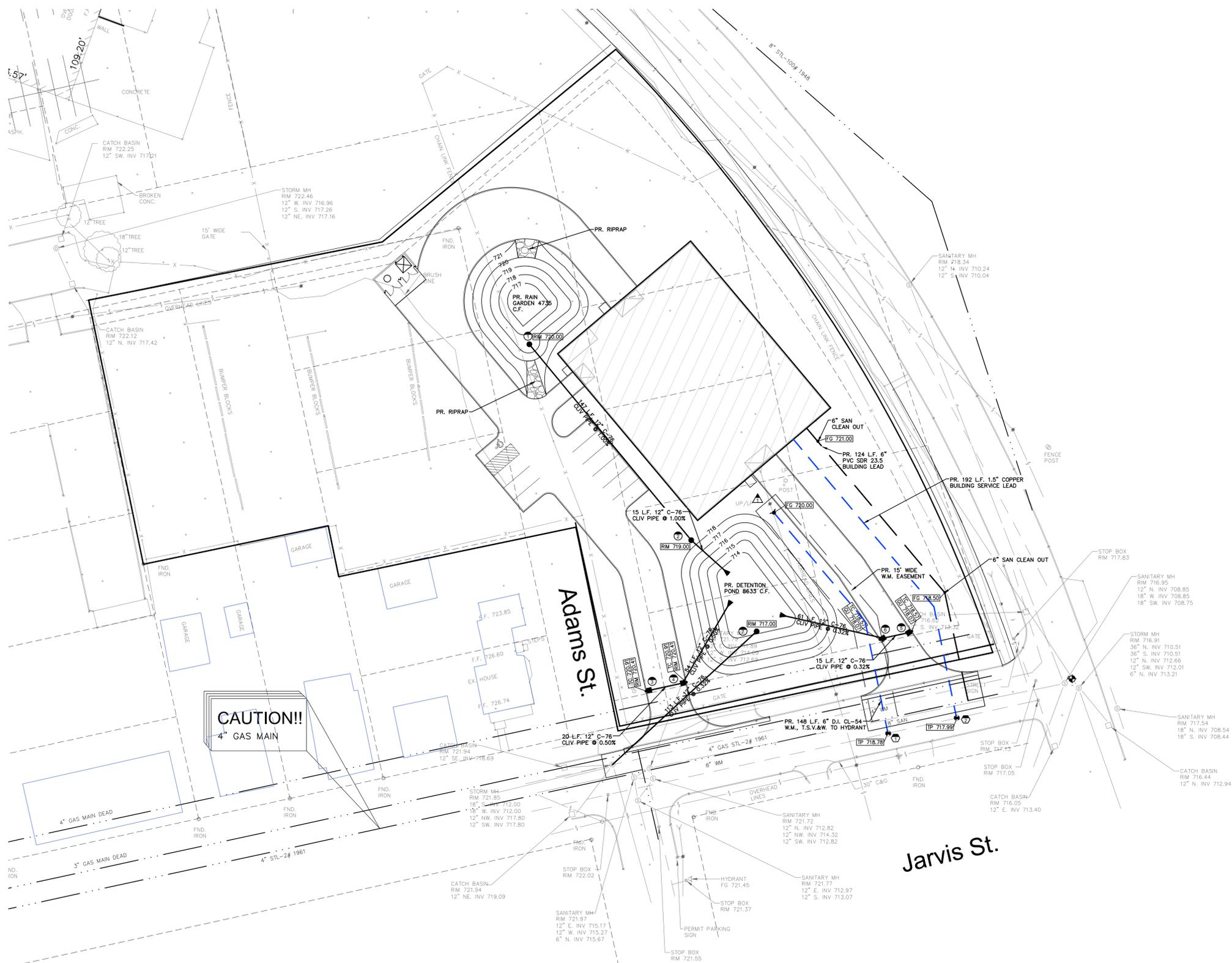


REVISIONS
00-00-00

DRAWN BY:
T. Wood
DESIGNED BY:
M. Peterson
APPROVED BY:
M. Peterson
DATE:
2-22-2016
SCALE: 1" = 30'
NFE JOB NO. 1807
SHEET NO. C3



Location Map



DRAINAGE STRUCTURE SCHEDULE

- 1 OVERFLOW STRUCTURE
RIM 720.00
12" INV. SE. 716.00
- 2 4" DIA. MANHOLE
RIM 719.00
12" INV. NW. 715.53
12" INV. SE. 715.53
- 3 4" DIA. CATCH BASIN
RIM 720.41
12" INV. E. 715.35
- 4 4" DIA. MANHOLE
RIM 720.41
12" INV. E. 715.27
12" INV. W. 715.27
- 5 4" DIA. CATCH BASIN
RIM 718.07
12" INV. W. 715.50
- 6 4" DIA. CATCH BASIN
RIM 718.07
12" INV. W. 714.69
12" INV. E. 714.69
- 7 PRETREATMENT STRUCTURE WITH OUTLET CONTROL
RIM 714.00
12" INV. SE.

HYDRANT SCHEDULE

- 1 6" STANDARD FIRE HYDRANT
F.G. 720.00

GATE VALVE SCHEDULE

- 1 GATE VALVE IN WELL
RIM 718.18
- 2 6" T.S.V.&W.
RIM 718.12

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	405	L.F.
6" C-76, CLASS IV, SEWER PIPE	-	L.F.
12" END SECTION	5	EA.
VORTSENTRY PRETREATMENT STRUCTURE	1	L.F.
4" DIA. CATCH BASIN W/ 2' SUMP	7	EA.
4" DIA. MANHOLE	2	EA.
2" DIA. INLET	-	EA.
SEWER TAP/CONNECTION	1	EA.

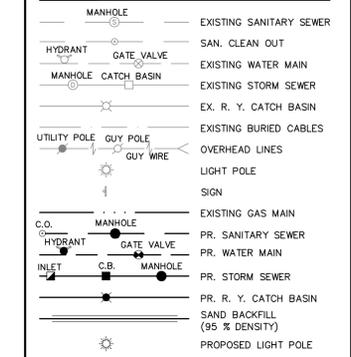
SANITARY SEWER

DESCRIPTION	QUANTITY	UNITS
6" PVC, SDR 23.5, BUILDING LEAD	124	L.F.
SEWER TAP/CONNECTION	1	EA.

WATER MAIN

DESCRIPTION	QUANTITY	UNITS
8" D.I., CLASS 54, WATER MAIN	-	L.F.
6" D.I., CLASS 54, WATER MAIN	148	L.F.
1 1/2" x 1" COPPER BUILDING SERVICE	192	L.F.
6" HYDRANT ASSEMBLY	1	EA.
6" GATE VALVE & WELL	1	EA.
6" TAPPING SLEEVE G.V. & WELL	1	EA.
WATER MAIN CONNECTION	1	EA.

LEGEND



SEAL

PROJECT
Lowell & Huron River Dr.

CLIENT
Bowers and Associates
2400 South Huron Parkway
Ann Arbor, MI 48104

Contact: Scott Bowers
Phone: (734) 975-2400
Fax: (734) 975-2410

PROJECT LOCATION
Part of the SW 1/4
of Section 4
T.3S., R.7E.
City of Ypsilanti,
Washtenaw, Michigan

SHEET
Utility Plan



REVISIONS
00-00-00

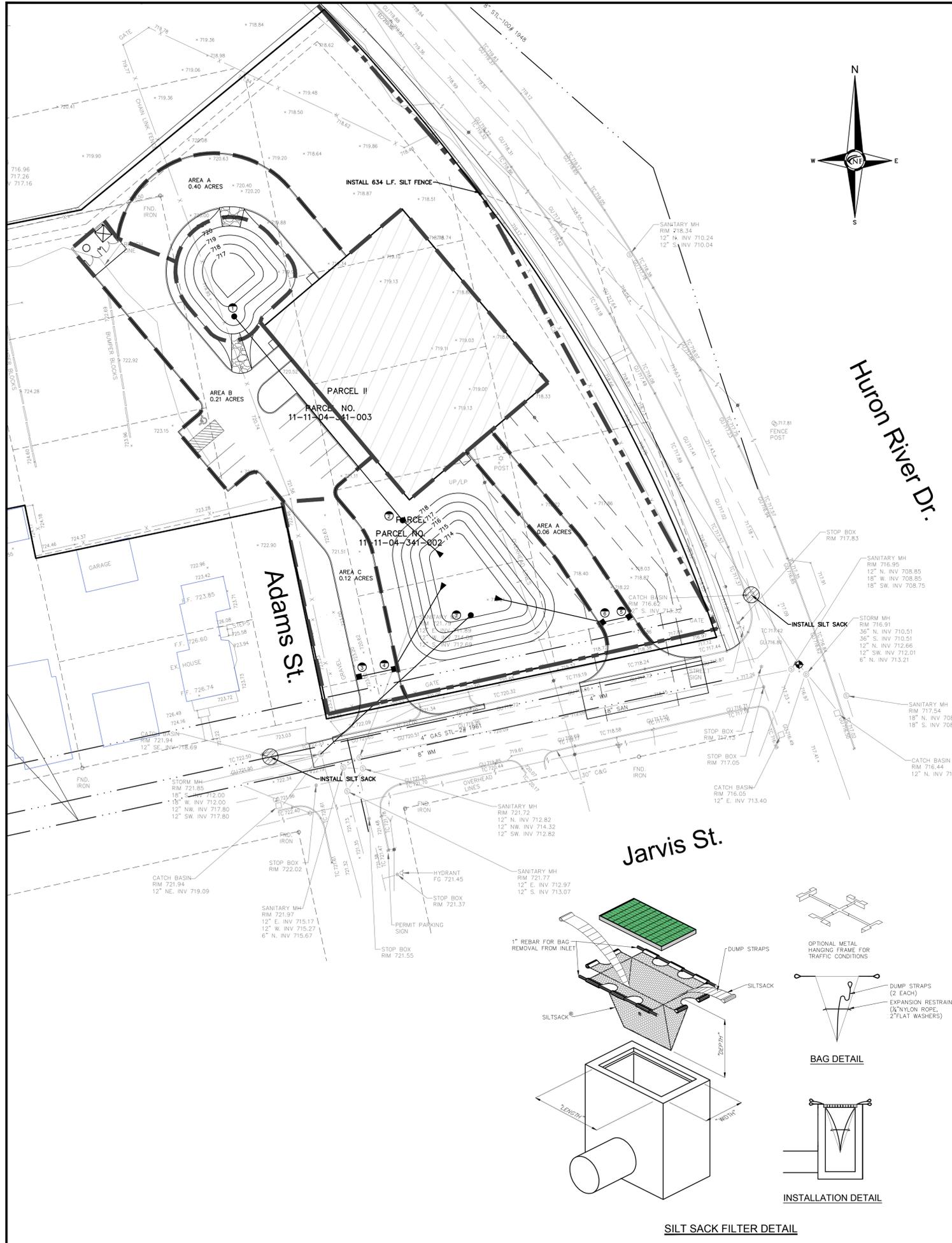
DRAWN BY:
T. Wood
DESIGNED BY:
M. Peterson
APPROVED BY:
M. Peterson

DATE:
2-22-2016

SCALE: 1" = 30'
30 15 0 15 30 45

NFE JOB NO. 1807 SHEET NO. C4

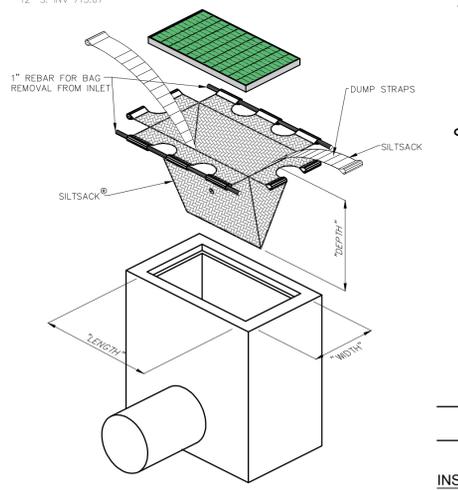
CAUTION!!
4" GAS MAIN



Huron River Dr.

Adams St.

Jarvis St.



BAG DETAIL

INSTALLATION DETAIL

SILT SACK FILTER DETAIL

**PRELIMINARY DETENTION CALCULATIONS
WASHTENAW COUNTY METHOD**

**POST DEVELOPMENT
PART E
W1 (Post Development)**

Cover	Soil Type	Area (sf)	Area (ac)	Runoff Coefficient	CxA
Paving	NA	17,017.00	0.391	0.95	0.371
Building	NA	12,650.00	0.290	0.95	0.276
Green Space	BbB	76,735.00	1.762	0.15	0.264
Green Space	WaA	0.00	0.000	0.15	0.000
Pond	BbB	0.00	0.000	0.15	0.000
Total CxA					0.911
Total Site Area					2.443
Weighted C					0.373

Cover	Soil Type	Area (sf)	Area (ac)	CN	CNxA
Paving	NA	17,017.00	0.391	98	38.284
Building	NA	12,650.00	0.290	98	28.460
Green Space	BbB	76,735.00	1.762	39	68.702
Green Space	WaA	0.00	0.000	39	0.000
Pond	BbB	0.00	0.000	39	0.000
Total CNxA					135.446
Total Site Area					2.443
Weighted CN					55.45

**PRE-DEVELOPMENT
PART E
W1(Pre-Development)**

Cover	Soil Type	Area (sf)	Area (ac)	Runoff Coefficient	CxA
Paving	NA	0.00	0.000	0.95	0.000
Building	NA	0.00	0.000	0.95	0.000
Green Space	BbB	106,402.00	2.443	0.15	0.366
Green Space	WaA	0.00	0.000	0.15	0.000
Total CxA					0.366
Total Site Area					2.443
Weighted C					0.150

Cover	Soil Type	Area (sf)	Area (ac)	CN	CNxA
Paving	NA	0.00	0.000	98	0.000
Building	NA	0.00	0.000	98	0.000
Green Space	BbB	106,402.00	2.443	39	95.263
Total CNxA					95.263
Total Site Area					2.443
Weighted CN					39.00

W2
First Flush Volume (First 1" of rain over entire watershed)

$Vf = (1 \text{ in}) \cdot (1 \text{ in} / 12 \text{ in}) \cdot (43560 \text{ ft}^2 / 1 \text{ acre}) \cdot A \cdot C$
 $Vf = 3,307.83 \text{ cf}$

W3 PRE-Development

P= 2.35 in
 CN= 39.00
 S= 1000/CN-10
 S= 15.641 in
 Q= (P-(2*S)/2)/(P+0.8*S)
 Q= 0.041 in
 A-Abmp= 106,402.00 Total Site Area Excluding Self Crediting BMP SF
 Vbf-pre = Q(1/12)Area
 Vbf-pre = 361.290 cf

W4 Pervious Post-Development

P= 2.35 in
 CN (Pervious)= 39
 S= 1000/CN-10
 S= 15.641 in
 Q= (P-(2*S)/2)/(P+0.8*S)
 Q= 0.041 in
 A-per-post= 76,735.000 Pervious Cover Area Post Dev. SF
 Vbf-per-post = Q(1/12)Area
 Vbf-per-post = 260.555 cf

W5 Impervious Post-Development

P= 2.35 in
 CN (Impervious)= 98
 S= 1000/CN-10
 S= 0.204 in
 Q= (P-(2*S)/2)/(P+0.8*S)
 Q= 2.122 in
 A-imp-post= 29,687.000 Impervious Cover Area Post Dev. SF
 Vbf-imp-post = Q(1/12)Area
 Vbf-imp-post = 5245.308 cf

W6 Pervious Post-Development 100 Year

P100= 5.11 in
 CN (Pervious)= 39
 S= 1000/CN-10
 S= 15.641 in
 Q= (P-(2*S)/2)/(P+0.8*S)
 Q= 0.223 in
 A-pervious= 76,735.000 Pervious Cover Area Post Dev. SF
 V100-per-post = Q(1/12)Area
 V100-per-post = 1425.129 cf

W7 Impervious Post-Development 100 Year

P100= 5.11 in
 CN (Impervious)= 98
 S= 1000/CN-10
 S= 0.204 in
 Q= (P-(2*S)/2)/(P+0.8*S)
 Q= 4.673 in
 A-imp-post= 29,687.000 Impervious Cover Area Post Dev. SF
 V100-imp-post = Q(1/12)Area
 V100-imp-post = 12047.275 cf

W8 Time of Concentration

Flow Type	K	Delta Elev.	L	S ^{0.5}	V=K*S	Tc-hrs = L/(V*3600)
Sheet Flow	0.48	3.6	140	1.604	0.770	0.05

W9 Runoff Summary

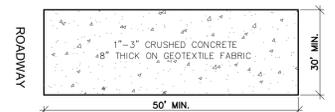
Vf = 3,307.83 cf
 Vbf-pre = 361.290 cf
 Vbf-per-post = 260.555 cf
 Vbf-imp-post = 5245.308 cf
 V100-per-post = 1425.129 cf
 V100-imp-post = 12047.275 cf

W10 Detention/Retention Requirements

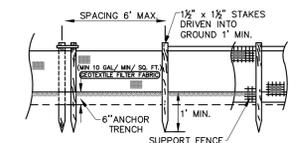
Qp= 236.67 cfs
 Qp= 2759.325 cfs/in-mi²
 Atotal-Abmp= 2.443 ac
 Q100= Q100per+Q100-imp
 Q100= 5.096
 Peak Flow (PF)= Qp*Q100*A/640
 PF= 53.666 cfs
 Delta= pf-15*Area
 Delta= 53.300 cfs
 Vdet= Delta/pf*V100-Vint Required Detention
 Vdet= 8235.850 cf



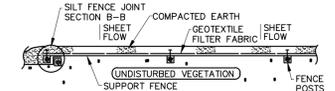
Location Map



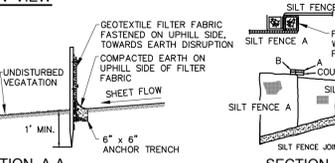
TEMPORARY CRUSHED CONCRETE CONSTRUCTION ACCESS ROAD



FRONT VIEW



PLAN VIEW



SECTION A-A

SECTION B-B

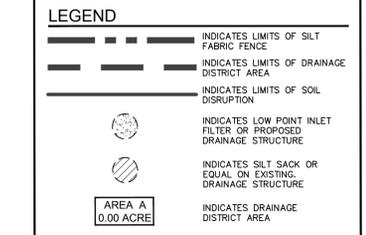
SILT FENCE DETAIL
NTS

NOTES

REFER TO THE WRIC SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL ADDITIONAL NOTES & DETAILS (TYP)
 A DISTANCE OF ?????? TO THE NEAREST BODY OF WATER ??????
 THE TOTAL AREA OF EARTH DISRUPTION IS ?????? ACRES.
 THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY ??????
 A SOIL EROSION PERMIT IS REQUIRED FROM THE ?????? COUNTY.

**ESTIMATED QUANTITIES
SOIL EROSION**

DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	634	L.F.
SILT SACK OR EQUAL	2	EA.



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257

SEAL

PROJECT
 Lowell & Huron River Dr.

CLIENT
 Bowers and Associates
 2400 South Huron Parkway
 Ann Arbor, MI 48104

Contact: Scott Bowers
 Phone: (734) 975-2400
 Fax: (734) 975-2410

PROJECT LOCATION
 Part of the SW 1/4
 of Section 4
 T.3S., R.7E.
 City of Ypsilanti,
 Washtenaw, Michigan

SHEET
 Soil Erosion Control/
 Storm Water Management
 Plan



REVISONS
 00-00-00

DRAWN BY:
 T. Wood
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 M. Peterson
 DATE:
 2-22-2016
 SCALE: 1" = 30'
 NFE JOB NO. 1807 SHEET NO. C5

Ypsilanti Non-Motorized Advisory Committee Meeting Minutes - Thursday, April 7, 2016

1. Call to order - The meeting was called to order at 7:08pm, April 7, 2016 at the Ypsilanti District Library, 229 West Michigan Avenue. Committee members attending were Tony Bedogne, Martha Cleary and Bob Krzewinski.
2. Introductions
 - a. Audience participation/public Input - None
3. General business
 - a. Agenda approval – A motion was made by Martha, seconded by Tony, to approve the agenda, passing unanimously.
 - b. Approval of February meeting minutes – A motion was made by Tony, seconded by Martha, to approve the February meeting minutes, passing unanimously.
 - c. Officer reports – Bob gave an update on briefing the Downtown Development Authority (DDA) on Committee activities at their March 17th meeting, attending the City Planning Commission meeting on March 16th to talk about Committee by-laws changes and attending the April 5th City Council meeting to voice Committee support for the Michigan Avenue Border To Border Trail crossing as well as a proposed County road millage that also has 20% of funds going to non-motorized issues.
 - d. New Committee members – Bob indicated that DDA members Ben Harrington & Mark Teachout (acting as an alternate DDA Committee member) were interested in serving on the Committee.
4. Old business
 - a. 2016 Committee priorities
 - Sidewalks – A letter to the Michigan Department of Transportation (MDOT) on Ferris/Hamilton curb cuts has been mailed and waiting a reply.
 - Bike lane additions – There will be a April 20 public meeting for a Forest Avenue bike lane between Prospect and Norris Streets, 7pm at the Depot Town Freighthouse.
 - Border To Border (B2B) Trail completion progress – City Council on April 5th approved a funding match for the Michigan Avenue HAWK crossing (expected to be completed by late summer). Lena Reeves attended the March 15th City Council meeting urging support for a B2B trail routing on the west side of the Depot Town Frog Island parking lot. Bob indicated the Washtenaw County Parks & Recreation Commission is planning on a field trip in May to the Grove Road area for a B2B connection to Ypsilanti Township. Also discussed was a reroute of the on-road B2B in the City if the Park Street railroad crossing is closed to traffic.
 - Walk Friendly & Bike Friendly Community applications – Subcommittees working on both applications.
 - Pedestrian safety signage – A letter to MDOT letter has been mailed waiting a reply.
 - Committee event participation & education – Bob will send out a message to Committee members for a volunteer to staff a Committee information table at the Bike Ypsi Spring Ride (May 1). Bob will also update the Bike Bus-Walk Week (May 15-21) activities for 2016 and forward it to Committee members.
 - Bike Friendly Business program – Bob will work on business visits.
 - Traffic calming – Bob met with Mark Teachout about drafting a letter to the City from the Committee urging traffic calming measures in Depot Town.
 - b. I-94/Huron – Huron/Hamilton non-motorized improvements – No updates.
 - c. Sidewalk snow removal – Bob will talk with the Mayor about a letter that could be posted at properties that are not shoveling sidewalks reminding them of the City ordinance requiring them to do so.
 - d. Non-motorized plan – Bonnie Wessler of the Planning Department is continuing to work on the update to the City Non-Motorized Plan.
 - e. Other – Bob will contact the AAATA on additional bike rack installations for the Transit Center improvements planned. Tony gave an update on Eastern Michigan University (EMU) students performing traffic counts. Tony also gave an update on the City Capitol Improvements Plan (CIP), which will take place every fall, and the inclusion of non-motorized projects in the Plan.
5. New Business
 - a. Planning Department update – Bob obtained an update from the Department prior to the meeting.
 - b. Other – Tony indicated that an EMU student is working on a map of all bike racks on the campus. Tony will also seek out interested EMU staff for a possible EMU bicycle group for staff and students. Bob will research a possible non-motorized plan for the campus.
6. Other Items – Announcements – None.
7. Adjournment - A motion was made by Tony, seconded by Martha, to adjourn the meeting, passing unanimously. The meeting was adjourned at 8:04pm with the next meeting being held Thursday, May 5, 7pm at the downtown Library.

