

**Agenda**  
**Planning Commission**  
**Council Chambers**  
**Wednesday, October 19, 2016 – 7:00 P.M.**

**I. Call to Order**

**II. Roll Call**

Heidi Jugenitz, Chair	P	A
Cheryl Zuellig, Vice Chair	P	A
Anthony Bedogne	P	A
Liz Dahl MacGregor	P	A
Toi Dennis	P	A
Matt Dunwoodie	P	A
Phil Hollifield	P	A
Jared Talaga	P	A

**III. Approval of Minutes**

- September 21, 2016

**IV. Audience Participation**

*Open for general public comment to Planning Commission on items for which a public hearing is not scheduled.*

**V. Presentations and Public Hearing Items**

- Special Nonconforming Status: 1007-1009 Grant St
- Planned Unit Development: 298 Jarvis St

**VI. New Business**

- None

**VII. Old Business**

- Alley Vacation: 211 Woodward

**VIII. Future Business Discussion / Updates**

- Zoning Ordinance Update: Status and Townhouse Section Updates
- Capital Improvements Plan: Transportation Update

**IX. Committee Reports**

**X. Adjournment**

**PLANNING COMMISSION  
MEETING MINUTES  
September 21, 2016  
CITY COUNCIL CHAMBER  
7:00 P.M.**

**I. CALL TO ORDER**

The meeting was called to order at 7:02 p.m.

**II. ROLL CALL**

**Present:** H. Jugenitz, C. Zuellig, A. Bedogne, L. Dahl MacGregor, T. Dennis, P. Hollifield

**Absent:** M. Dunwoodie (Excused), J. Talaga (Excused)

**Staff:** Bonnie Wessler, City Planner  
Cynthia Kochanek, Associate Planner

**III. APPROVAL OF MINUTES**

Commissioner Hollifield moved to approve the minutes of August, 2016 as amended (Support: Bedogne) and the motion carried unanimously.

**IV. AUDIENCE PARTICIPATION**

Chairperson Jugenitz reviewed the procedure on public comment on items not related to public hearing items. There were no members of the public who wanted to speak on items that did not have a public hearing.

**V. PRESENTATION AND PUBLIC HEARING ITEMS**

**1. Special Nonconforming Status: 670 Harriet.**

C. Kochanek, Associate Planner, presented the staff review of the request for special nonconforming status of 670 Harriet. Commissioners Zuellig and Jugenitz had questions for staff about the background of the special nonconforming status and what would happen in the event conditions were not met or in the event of a casualty.

Commissioner Dennis moved to open the public portion of the hearing (Support: Zuellig) and the motion carried unanimously.

**Alan & Tammy Trammel, owners of 670 Harriet**– Discussed the lighting issue; existing lights on site are there for security; discussed the security concerns in more detail.

**Victor Swanson, attending on behalf of the property owner to the north, Mrs. Swanson**- supports the need for lighting in the rear of 670 Harriet.

**Alan & Tammy Trammel, owners of 670 Harriet**– Plan to remove the screen door from the property, as it continually requires repair. Questioned the requirement for landscaping maintenance; clarified with staff that it was in regards to the removal of the tree-of-heaven and agreed to remove it.

Commissioner Hollifield moved to close the public portion of the hearing (Support: Zuellig) and the motion carried unanimously.

Commissioner Zuellig moved to approve the application for special nonconforming status at 670 Harriet Street with the following findings and conditions:

#### Findings

1. The application substantially complies with §122-207.

#### Conditions

1. The applicant will remove the tree-of-heaven on the west side of the house.
2. If the structure needs to be rebuilt, the yard setbacks cannot be more non-conforming than what currently exists.
3. The rental Certificate of Compliance & Occupancy must be obtained within 3 months of this approval and maintained as long as the structure is utilized as a rental.

The motion was supported by Commissioner Dahl-MacGregor. A roll call vote was taken and carried unanimously, 6:0.

## **2. Special Use: 309 N Adams**

C. Kochanek, Associate Planner, presented the staff review of the request for the special use of 5 dwelling units at 309 N Adams. Commissioner Zuellig had questions about the layout of the trash enclosure, the width of the front drive/parking area, and the location and style of the bicycle parking. Commissioner Bedogne expressed concern about the aesthetics of the site being sacrificed for covered bike parking. Commissioners Bedogne, Jugenitz, and Zuellig expressed concerns about ability to fit a barrier-free space into the site; staff will follow up with the Building Department.

Commissioner Hollifield moved to open the public portion of the hearing (Support: Dennis) and the motion carried unanimously.

**Barry Levin, president of 309 N Adams LLC (owner)** – Addressed bike parking issue; stated that tenants tend to lock bikes to porch railing. Stated some options for placing the bike racks on the porch. Addressed barrier-free standards; noted that the units, due to the age of the building, are unable to reasonably be made ADA-compliant. Trash containers will be placed

in rear of building once occupied, asked of staff what precise recommendation was regarding trash container locations. Discussed lighting options, landscaping options, and paving options, including a bike parking location. Discussed how parking is dealt with at other locations he has experience with, including assigning the front, paved parking space to tenants with mobility challenges.

Commissioner Dennis moved to close the public portion of the hearing (Support: Hollifield) and the motion carried unanimously.

None of the commissioners had further questions.

Commissioner Bedogne moved that the Planning Commission approve the Special Use Permit for the Five Unit Multi-family Residential Use at 309 N Adams with the following finding and conditions:

Finding:

1. The application is substantially in compliance with §122-165(b).

Conditions:

1. Special use approval shall be subject to approval of site plan.
2. In order to continue the current non-conforming use of the rear parking area, the applicant can provide paved access to each unit from the parking areas and a barrier free space in the paved front drive.

The motion was supported by Commissioner Zuellig. A roll call vote was taken and carried unanimously, 6:0.

Commissioner Dahl MacGregor moved that the Planning Commission approve the Special Use Permit for the Five Unit Multi-family Residential Use at 309 N Adams with the following findings, waivers and conditions:

Findings

1. The application substantially complies with §122-127.
2. The non-conforming gravel parking lot at the rear will be allowed to continue due to the gravel composition of the rest of the alley.

Waivers

1. A 20% reduction in the required vehicle parking for a total of two spaces is approved due to the constraints of the site.
2. A waiver from the requirement of an additional street tree required under 122-704 due to dimensional constraints.

Conditions

1. That the applicant seeks to provides one barrier free space in the paved driveway that complies with the spirit of ADA regulations.
2. The applicant is to install a paved pathway for access to and from all entrances to the parking areas.
3. The applicant is to clear, regrade and re-gravel the existing rear parking lot.

4. The applicant is to provide wheel stops in the rear lot.
5. That the applicant is to provide six bike parking spaces on site.
6. That the applicant is to provide an enclosure for the refuse containers at the rear of the property.
7. The applicant is to maintain all existing and new landscaping in good condition.
8. The applicant is to submit a detailed lighting plan for staff review.

Commissioner Bedogne submitted a friendly amendment to provide the finding "due to site dimensional constraints" for waiver #2.

Commissioner Dennis submitted a friendly amendment to require the applicant to submit a lighting plan for staff review.

The motion was supported by Commissioner Hollifield. A roll call vote was taken and carried unanimously, 6:0.

#### **VI. NEW BUSINESS**

None

#### **VII. OLD BUSINESS**

Alley Vacation: 211 Woodward. Applicant not present. Staff informed PC that the alley has to be split down the middle per state law; applicant has been informed. No response from applicant on how to proceed.

#### **VIII. FUTURE BUSINESS DISCUSSION/UPDATES**

Nonconforming A application next month.

#### **IX. COMMITTEE REPORTS**

Capital Improvements  
Non-motorized Advisory Committee – September minutes

#### **X. ADJOURNMENT**

Since there was no further business, Commissioner Dennis moved to adjourn the meeting (Support: Hollifield) and the motion carried unanimously. The meeting adjourned at 8:22 pm.



October 7, 2016

**Staff Review of Special Nonconforming Use Application  
1007-1009 Grant St. Duplex-Nonconforming A  
1007-1009 Grant St.**

**GENERAL INFORMATION**

**Applicant:** R. Kent Brown & Pamela Byrnes  
17381 N. M-52  
Chelsea, MI 48118

**Project:** 1007-1009 Grant St. Duplex-Nonconforming A

**Application Date:** September 13, 2016

**Location:** South side of Grant St between Elm and Oakwood

**Zoning:** R-1, Single-Family Residential

**Action Requested:** Approval of Special Nonconforming Status

**Staff Recommendation:** Approval

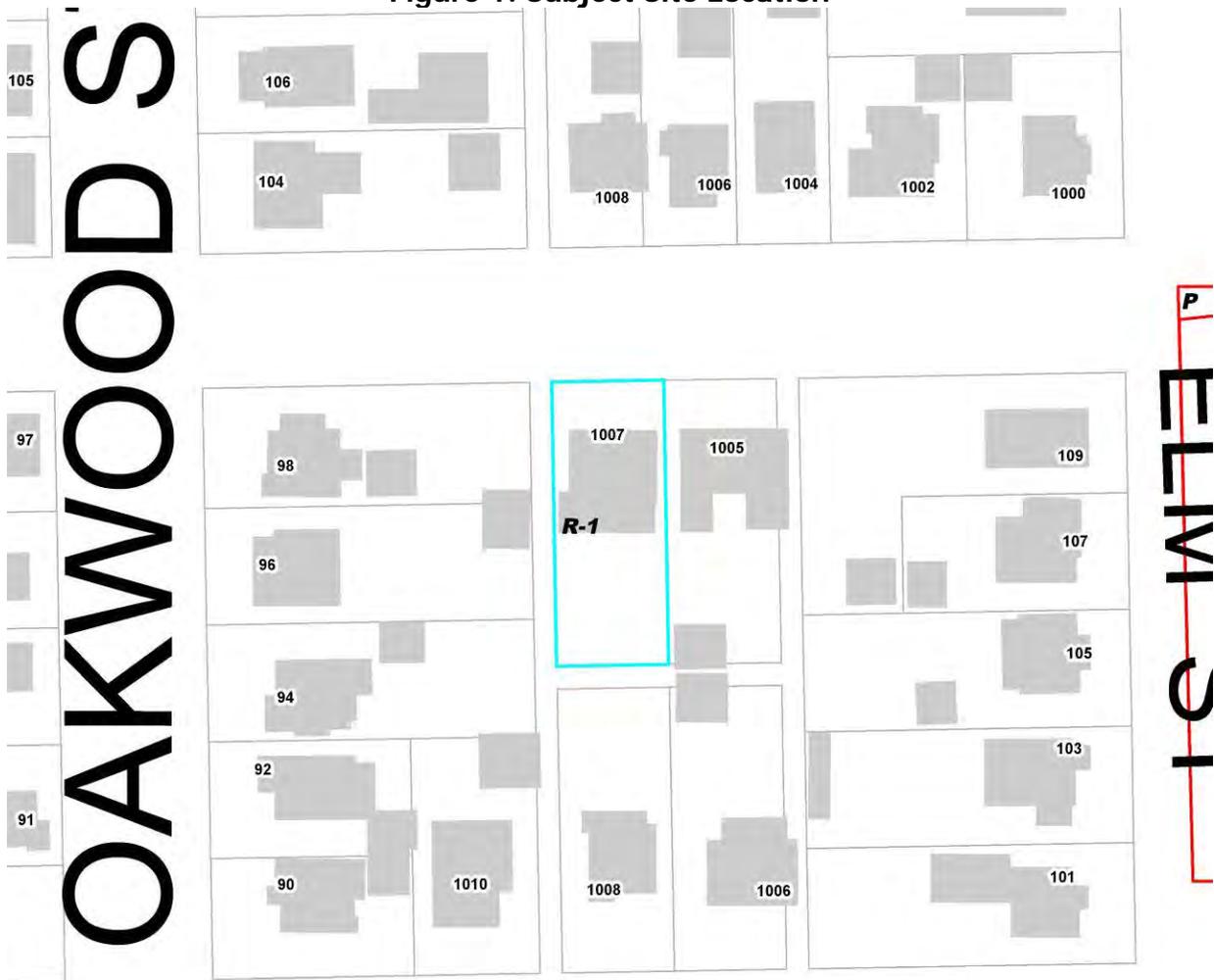
**PROJECT AND SITE DESCRIPTION**

Parcel 11-11-40-161-008 is 0.15 acres on a Grant St between Elm and Oakwood Streets in the Normal Park area of the city. The structure includes both the 1007 and 1009 Grant St addresses. The structure is two units in 3,180 square feet with porch on the north end of the structure.

Currently zoned R-1, Single-Family Residential, the two units are nonconforming under the current zoning ordinance. The house was built as a duplex in 1926, at that time the property was Class "A" zoning which allowed for one and two-family dwelling units. After 1985 the zoning for the property changed to single family. No special use permits or variances have previously been approved for this property. The property has a Certificate of Compliance & Occupancy from the building department that is valid until January 1, 2017.

There are no proposed changes to the site, the applicant is only pursuing the special nonconforming status in order to rebuild as a duplex in the event of a casualty.

Figure 1: Subject Site Location



**Figure 2: Site Aerial (2015)**



Figure 3: Master Plan-Future Land Use Map



The master plan calls for the following goal:

***Anyone, no matter what age or income, can find a place to call home in Ypsilanti***  
*Housing options should match the needs of the people. Those needs will change as residents age and move. The need for safe, quality, affordable homes for all should be factored into decisions.*

This property is in Outlying Neighborhood and as such the master plan calls for the following:

*Limit uses to predominantly single-family residential uses in areas with small houses, suited for only single-family.*

*These neighborhoods will have uses limited to the type of residential for which they were built. In some areas, like the Heritage Park neighborhood in the southwest part of the City, zoning would be changed so that duplexes and group homes would no longer be allowed by right. As many of these areas have aging populations, the City needs to be concerned about the stability of these neighborhoods as demographics shift.*

**Figure 4: photograph of north & west sides of the site**



**Figure 5: photograph of east side of the site**



**Figure 6: photograph of rear/south side of the site**



**Figure 7: Land Use and Zoning of Surrounding Area**

	<b>LAND USE</b>	<b>ZONING</b>
<b>NORTH</b>	Single-family homes	R-1, Single-Family Residential
<b>EAST</b>	Single-family homes	R-1, Single-Family Residential
<b>SOUTH</b>	Single-family homes	R-1, Single-Family Residential
<b>WEST</b>	Single-family homes	R-1, Single-Family Residential

**CONDITIONS APPLYING TO ALL LAWFUL NONCONFORMITIES (excerpt) §122-206(5)**

*“Nonconforming uses of buildings shall be designated class A provided that the Planning Commission finds all of the following exists with respect to the use or structure:*

- (1) The use of structure was lawful at its inception.*
- (2) The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*
- (3) Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*
- (4) No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.”*

**CRITERIA AND REVIEW §122-207**

- (1) The use of structure was lawful at its inception.*

**COMMENTS:** This structure was originally built as a duplex in 1926; the property was zoned to allow for one and two-family dwellings at that time, thus it was lawful at its inception.

(2) *The decision to continue the nonconforming use, if granted, will not alter the essential character of the area or neighborhood.*

**COMMENTS:** There are several other multi-family uses within three blocks of the property. This structure has been utilized as a duplex since it was built. The houses surrounding this property were mostly built in and around the same time thus the character of the area has been much the same since the mid-1920s.

(3) *Continuance of the use or structure would not be contrary to the public health, safety, or welfare or the spirit of the chapter.*

**COMMENTS:** The rental Certificate of Compliance & Occupancy for this property is valid until January 1, 2017. The rental Certificate of Compliance & Occupancy verifies that the units comply with the International Property Maintenance Code (IPMC). The IPMC is a maintenance document intended to establish minimum maintenance standards for basic equipment, light, ventilation, heating, sanitation and fire safety. As long as the property gets re-certified for rental it is expected that there will not be any affect to public health, safety or welfare.

(4) *No useful purpose would be served by strict application of the provisions of this chapter with which the use or structure does not conform.*

**COMMENTS:** Strict application of this provision may result in underutilization of a structure this size. Enforcement records do not indicate an essential defect that would be remedied by reducing occupancy to a single-family residential. Conversion of the current structure to a single-family home will pose some issues as it was built as a duplex.

## CONDITIONS OF APPROVAL

**§122-207(2)**

*The Planning Commission may condition its approval on the following:*

(a) *Screening and landscaping in keeping with community standards to ensure compatibility with adjacent uses.*

**COMMENTS:** There is existing vegetation on site including two street trees and one established tree in the rear. The shrub at the northwest corner appears to be a little overgrown otherwise all the landscaping appears to be maintained.

(b) *Restrictions on lighting, noise, odor, or visual impact.*

**COMMENTS:** There is existing exterior lighting on the front and back of the house. It appears that the lighting in the rear is not dark sky compliant and should comply with §122-641.

(c) *Signage must comply with current zoning district requirements. Existing nonconforming signs may be required to be eliminated or reduced in size and number.*

**COMMENTS:** No signage exists on site.

(d) *Replacement of a building must not create a more nonconforming yard setback condition which would impact on conforming properties in the immediate vicinity.*

**COMMENTS:** In the event of casualty, the structure needs to be rebuilt so that the yard setbacks are not anymore non-conforming than they are presently.

(e) *Other reasonable safeguards and improvements may be imposed by the Planning Commission to protect conforming uses in the surrounding area.*

**COMMENTS:** Photos submitted by the applicant indicate that the property appears to be in good repair however there are two garbage cans shown in the northwest corner of the property that should have a

dedicated storage area. The rental Certificate of Compliance & Occupancy must be successfully renewed as prescribed by law and maintained as long as the structure is utilized as a rental/duplex.

***Items to be addressed:***

1. All exterior lighting should comply with §122-641.
2. If the structure needs to be rebuilt, it cannot be more non-conforming in regards to the yard setbacks.
3. A dedicated storage area for the garbage receptacles should be provided.
4. The rental Certificate of Compliance & Occupancy must be successfully renewed as prescribed by law and maintained as long as the structure is utilized as a rental/duplex.

**STAFF RECOMMENDATION**

Staff recommends the Planning Commission *approve* the Special Nonconforming Use permit for 1007-1009 Grant St. Duplex with the following findings and conditions:

Findings

1. The application substantially complies with §122-207.

Conditions

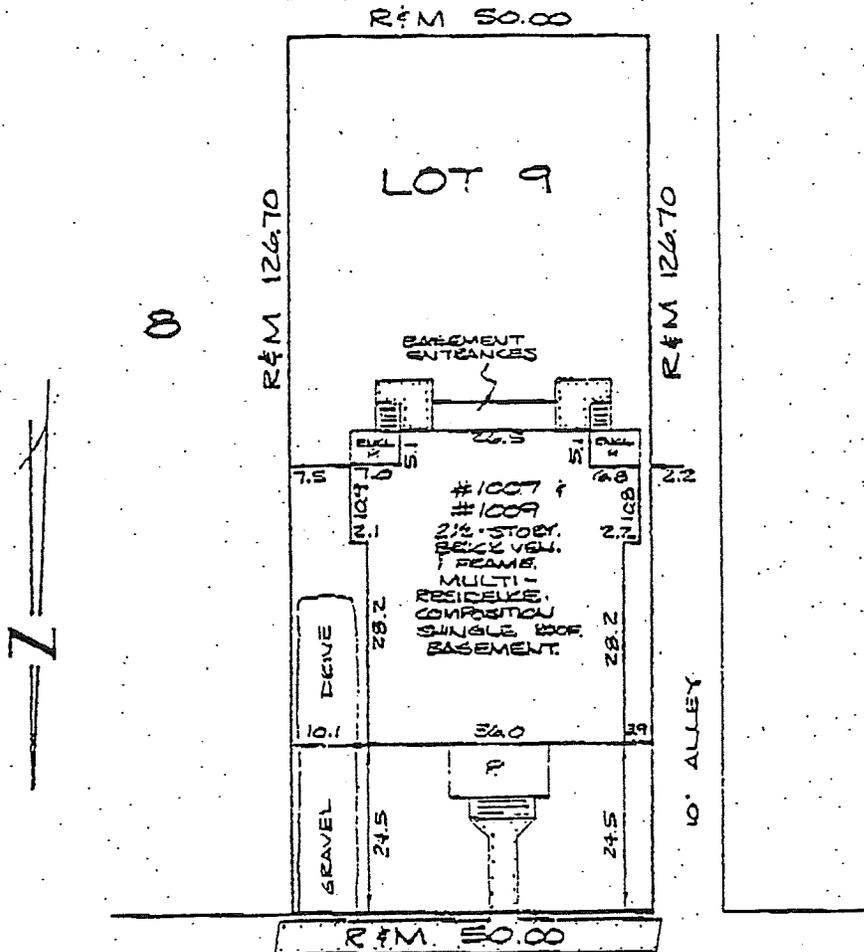
1. All exterior lighting needs to comply with §122-641.
2. If the structure needs to be rebuilt, the yard setbacks cannot be more non-conforming than what currently exists.
3. A dedicated storage area for the garbage receptacles should be provided.
4. The rental Certificate of Compliance & Occupancy must be successfully renewed as prescribed by law and maintained as long as the structure is utilized as a rental/duplex.

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Cynthia Kochanek  
Associate Planner, Community & Economic Development Division

CC      File  
          Applicant

LOT 9, BLOCK 3, "NORMAL PARK ADDITION" TO THE CITY OF YPSILANTI, WASHTENAW COUNTY, MICH. AS RECORDED IN LIBERTY OF PLATS ON PAGE 38. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.



GRANT STREET (60' WIDE)  
31' ASPHALT PAVEMENT/ CONCRETE CURBS

R = RECORDED.  
M = MEASURED  
C = CALCULATED  
± = MORE OR LESS

We hereby certify that the building or buildings shown are located entirely on the described property and do not encroach on adjoining lands or do adjacent buildings encroach on the described property except as shown. THIS IS FOR MORTGAGE PURPOSES ONLY AND NO PROPERTY CORNERS HAVE BEEN SET BY US. DISTANCES SHOWN ARE NOT TO BE USED FOR BUILDING OF STRUCTURES OR FENCES. CREDIT TO ALL TITLE COMPANIES.



**MORTGAGE REPORT**

CERTIFY TO: FIRST SAVINGS ASSOCIATION OF YPSILANTI  
MORTGAGOR: JOSE & CATHERINE GARCIA

DATE  
04 FEB 87  
JOB NO.  
87-2-9  
SCALE  
1" = 20'

**J** ROSKELLY, JEKABSON & ASSOCIATES, P.C.  
Registered Land Surveyors  
888 Sheldon Road  
Plymouth, Michigan 48170  
Telephone 455-8000  
by *Robert P. Roskelly*

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1 OF 1

# City of Ypsilanti

Building Department

One South Huron St.  
Ypsilanti, MI 48197

Ph: (734) 482-1025 Fax: (734) 483-7444

## Certificate of Compliance & Occupancy

### Property Address

1007 GRANT

### Owner

BROWN KENT R & BYRNES PAMELA  
17381 NORTH M-52  
CHELSEA MI 48118

### Agent

BROWN KENT R & BYRNES PAMELA  
17381 NORTH M-52  
CHELSEA MI 48118

The above listed structure substantially complies with the minimum requirements of the City of Ypsilanti Existing Structures Code and may be used for the number of apartments and rooms as indicated.

This certificate only applies to the structure's use under the Building Codes and in no way does it approve the use under the city's Zoning Ordinance. Zoning approval can only be issued by the City Planner. All zoning questions should be referred to the Planning & Development Department at (734) 483-9646.

**Reminder: All battery powered smoke detectors shall be equipped with a minimum 5 year battery**

Certificate #: C862-14-0179

Apartments/Rooms: 2

Issued: 03/16/15

Certification Period 01/01/15 - 01/01/17

**Certificate expires at the end of certification period.**

3/11/15 - Received copy of 3/5/15 approved furnace service check performed by Diversified Mechanical per PM-603.7 HVAC Certification Requirement - which certification of inspection shall be provided minimally every 4 years.

1007 Grant

Make: Snyder General Model:GUA100A016AIN Ser. #R893700372

1009 Grant

Make: Snyder General Model: GUG094A012IA1 Ser. #R893800526

Mechanical Lic. #: 7109424 Lic. Expiration: 8/31/16

Next HVAC service check required: March 2019

  
**Frank Daniels**  
Building Department Manager

## Bonnie Wessler

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**From:** Robert Resch <robertresch90@gmail.com>  
**Sent:** Thursday, October 06, 2016 4:00 PM  
**To:** Bonnie Wessler  
**Subject:** Re: 1007-1009 Grant Street Application for Nonconforming status

Thanks for the informed response. We appreciate it.

On Thu, Oct 6, 2016 at 12:20 PM, Bonnie Wessler <[bwessler@cityofypsilanti.com](mailto:bwessler@cityofypsilanti.com)> wrote:

> Thanks for your input! It will be passed along to the Planning Commission.

>

> To your question about how it came to be there in the first place: from the inception of the zoning ordinance in 1925 to at least 1936, the "Class A Residential" district included both one and two-family homes. This home was built in 1926, per our records. (Fun fact: two-family homes are still considered "residential" for the purposes of building code, fire code, and even assessing!) If a use is established legally, it can continue indefinitely until it's either changed to another legal use or suffers a casualty where the cost to repair would exceed 100% of the state equalized value (so if a structure had a market value of \$100,000, its SEV would be \$50,000; if it were damaged by fire (or tornado, or what-have-you) and the cost to restore it was \$50,001, it would have to change to another conforming use). The "special nonconforming status," if granted, would allow the structure to be rebuilt as a two-family in the case of a casualty; it does not affect its ability to continue to be used as a duplex for the foreseeable future.

>

> Please don't hesitate to contact me with further questions.

>

> Thanks,

> Bonnie

> --

> Bonnie Wessler

> City Planner

> Community Development Division, City of Ypsilanti

> 734/483.9646 (office)

> [bwessler@cityofypsilanti.com](mailto:bwessler@cityofypsilanti.com)

> --

>

> -----Original Message-----

> From: Robert Resch [<mailto:robertresch90@gmail.com>]

> Sent: Thursday, October 06, 2016 11:11 AM

> To: Bonnie Wessler; Robert Resch

> Subject: 1007-1009 Grant Street Application for Nonconforming status

>

> I have lived in 1008 Grant Street for 32 years and my wife with me for

> 26 years and we have basically tolerated the duplex across the street.

>

> The owner has the tenants doing the lawn and snow removal year in and year out. This is a hit or miss proposition. They are nice people but really we can't expect much from renters like we would a residential home owner as far as making the building look like a home.

> The papers are left in the driveways. The landscaping is a bare minimum.

>

> The parcel is currently zoned as an R-1 but has been operating as a duplex as long as I've lived here. This is confusing to us. Isn't a duplex suppose to be an R-2 commercial zoning status?

>

> If it had to be re-built we would prefer it be a single family residential dwelling to match the rest of the neighborhood.

>

> Regard,

>

> Jan and Bob Resch



19 October 2016

**Staff Review of Planned Unit Development (PUD)  
Firehouse Storage and Townhomes  
298 Jarvis**

**GENERAL INFORMATION**

**Applicant:** Bowers + Associates  
2400 S Huron Parkway  
Ann Arbor, MI 48197

**Project:** Firehouse Storage and Townhomes

**Application Date:** 9/22/2016

**Location:** North-west corner of Jarvis and Huron River Drive (HRD)

**Zoning:** GC, General Corridor.

**Action Requested:** Site plan approval; recommend rezoning to PUD

**Staff Recommendation:** Approval with conditions

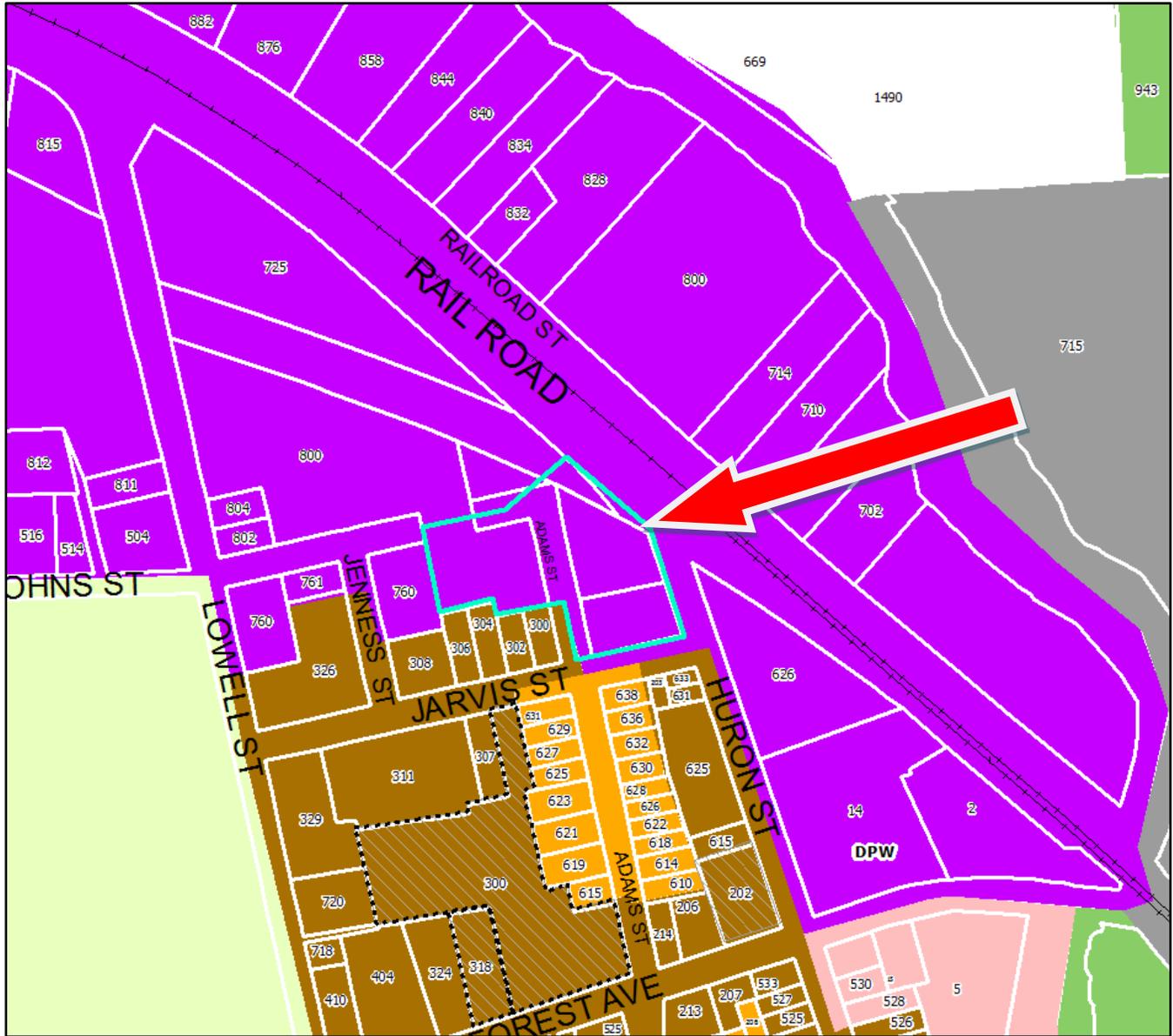
**PROJECT AND SITE DESCRIPTION**

The applicant is proposing to construct six townhomes fronting on Jarvis and a single-story indoor, climate-controlled storage facility for antique fire engine and firefighting equipment, on a 2.44 acre lot to be created through the assembly and split of existing parcels currently under the same ownership. The area is currently vacant, and had been most recently used as a parking area in the late 1990s/early 2000s. In addition to the buildings, associated stormwater, utility, parking, and landscaping work, the applicant is also proposing to construct an extension of the Border-to-Border trail along the Huron frontage to the proposed property line.

The area is zoned GC, General Corridor; the storage facility would be considered a Special Use with the IT (institutional) building type; however, the single-family use and townhome building style are not permitted under GC. As Planning Commission had directly indicated that townhomes on this property would be an asset aligned with the Master Plan during the previous application process for just the storage facility, this application is proceeding as a Planned Unit Development.

Note that there are two layouts with the location of the driveway on-site in the landscaping, photometric, and site plan; and off-site/Adams Street in other sheets. This is due to miscommunication about the vacation status of Adams Street north of Jarvis. Due to this, the applicant will need to resubmit certain stormwater, utility, and other designs. It is very likely that these items can be reviewed and approved during the next phase of approval- detailed engineering- and do not affect the overall layout of the site.

**Figure 1: Subject Site Location & Zoning (outlined area)**



**Figure 2: Land Use and Zoning of Surrounding Area**

	LAND USE	ZONING
<b>NORTH</b>	Warehouse, railroad	GC, General Corridor
<b>EAST</b>	Railroad, self-storage	GC, General Corridor
<b>SOUTH</b>	one-and-two family residential	CN-Mid, CN
<b>WEST</b>	Multifamily residential	CN, Core Neighborhood

**PUD: REQUIREMENTS**

**§122-573**

(1) **Unified Control.** *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance.*

**COMMENTS:** The property is owned by HNW Investments. The applicant is applying with the authorization of a duly appointed representative of the estate. Although the subject property is currently made up of several lots, these properties will be combined and split off appropriately.

(2) **Minimum Size.** *The minimum size of a Planned Unit Development shall be forty-three thousand, five hundred sixty (43,560) square feet (one acre) of contiguous land or 21,870 sf (1/2 half acre) if the proposal involves the preservation and/or adaptive reuse of a historically significant structure. The historical significance shall be determined by the city historic district commission.*

**COMMENTS:** The development area is 2.44 acres.

(3) **Applicable Base Regulations.** *Unless waived or modified in accordance with the procedures and standards set forth in this Article, the yard, bulk, parking, loading, landscaping, lighting, general provisions, and all other standards set forth in the Zoning Ordinances for the uses listed below shall be applicable for uses proposed as part of a Planned Unit Development:*

- a. *Multiple-family residential uses must comply with the regulations applicable in the MD, Multiple Dwelling Residential, district.*
- b. *Commercial and office uses must comply with the regulations applicable in the C – Center district.*
- c. *Manufacturing uses must comply with the regulations applicable in the PMD – Production, Manufacturing and Distribution district.*
- d. *Mixed uses must comply with the regulations applicable for each individual use, as outlined above, except that if conflicts exist between provisions, the regulations applicable to the most dominant use must apply.*
- e. *To encourage flexibility and creativity in development consistent with the planned Development concept, departures from compliance with the base regulations may be granted by the City Council, upon recommendation of the Planning Commission, as a part of the approval of the Planned Development. For example, such departures may include modifications of lot dimensional standards, setback requirements, density standards, parking and landscaping requirements, and similar requirements. Such departures may be approved only on the condition that they will result in a higher quality of development than would be possible using conventional zoning standards.*

**COMMENTS:** A mix of uses is proposed for the site. The storage building will be reviewed with GC zoning and IT building type. The housing poses a challenge due to its use (single-family) and building type as neither are permitted in the GC district or MD district; thus, staff will review them under the CN district regulations as it is the closest analogue to the proposed development that is located in the immediate area, noting also that the CN district provides for “single-family detached dwelling,” which is presumed to be in error as townhome building types are explicitly permitted in this district and defined as “single family dwelling unit, attached or townhouse,” that is not a use explicitly permitted anywhere in the zoning ordinance.

Planning Commission has previously indicated that townhomes would be a desirable addition in this location, in alignment with the Master Plan. Staff notes that Planning Commission must explicitly make this recommendation to City Council in their recommendation for adoption of the PUD.

(4) **Street Access.** *Each lot, main building, and principal use within a Planned Development district shall have vehicular access to a public street. Adequate provision shall be made for dedications of land for streets and essential services.*

**COMMENTS:** The site will have adequate access to public streets.

(5) **Usable Open Space.** *The proposed development shall contain at least as much open space as would otherwise be required by the existing underlying zoning.*

**COMMENTS:** This requirement is met.

(6) **Landscaping and Maintenance of Common Areas.** *All required yards and common areas shall be landscaped and adequately and permanently maintained by the property owner, tenant, or organization responsible for maintaining common areas. Through an irrevocable conveyance, such as deed restrictions or covenants that run with the land, the developer shall assure that all yards and common areas will be developed in accordance to the site plan and not changed to another use.*

**COMMENTS:** No "common areas" are proposed. The current owner will be bound by the site plan and PUD requirements, as will any successors. This will be part of the PUD agreement that is recorded upon adoption.

(7) **Additional Considerations.** *During review of a proposed planned development, the Planning Commission shall take into account the following considerations which may be relevant to a particular project: perimeter setbacks and screening; thoroughfares, drainage, as provided for in best management practices as appropriate, and utility design; underground installation of utilities; insulating pedestrian circulation from vehicular thoroughfares and ways; achievement of an integrated development with respect to signage, lighting, landscaping and building materials; and noise reduction mechanisms, particularly in cases where non-residential uses adjoin off-site residentially-zoned property.*

**COMMENTS:** Staff notes these issues in the following review.

## **SITE PLAN: CRITERIA AND REVIEW**

**§122-128**

### **STANDING**

**§122-128(1)**

The applicant is legally eligible to apply for site plan review, and all required information has been provided.

Section 122-571 provides review procedures for Planned Unit Development applications:

- 1) Pre-application conference
- 2) Formal PUD Application
- 3) *Planning Commission review, public hearing, and recommendation (we are here)*
- 4) City Council Action

**REQUIREMENTS**

**§122-128(2)**

*“The proposed site plan conforms with all the provisions and requirements, as well as the spirit and intent of this chapter and the Master Plan. The proposed development will meet all the regulations of the zoning district in which it is located.”*

*“General corridors are located along roads with heavy traffic and have commercial establishments, restaurants, offices, and other businesses that are geared toward automobile traffic. Multiple-family residential building types and uses are appropriate in this district.”*

Note: the commercial building “lot” and the townhouse “lot” have been divided for this review, per guidance from 122-274(d), as the building types are meant to be applied per “lot.” The “lot line” was drawn by staff to be parallel to the north lot line running NE, connecting the corner at the north end of the vacated Adams Street to the east lot line. Legally, it means nothing, nor does it affect things like parking.

Note 2: the Townhome type is challenging to review, as the lot requirements are per unit. Accordingly, the “lot size” is challenging to calculate, and the requirements for end units vs interior units are not particularly useful. *See separate memo.*

**Figure 3: Requirements**

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
<b>GC: §122-274</b>	<b>BUILDING TYPE</b>	Determined by lot size and building type limitations		Vacant IT (storage building) TH (townhomes)
<b>IT LOT REQUIREMENTS</b>				
<b>Width</b> ft	<b>Min</b> 50	<b>Max</b> block max	Vacant	200'
<b>Depth</b> ft	<b>Min</b> 100	<b>Max</b> block max	Vacant	400' at max
<b>Area</b> sf	<b>Min</b> 5000	<b>Max</b> --	Vacant	75,700 (approx.)
<b>Coverage</b> %	<b>Min</b> -	<b>Max</b> 60%	Vacant	
<b>BUILDING ENVELOPE AND HEIGHT</b>				
<b>Street setback</b> ft	<b>Min</b> 15	<b>Max</b> --	Vacant	19'5" to 24'8"
<b>Side setback</b> ft	<b>Min</b> 0	<b>Max</b> -	Vacant	N: 60.5' S: 12'
<b>Rear setback</b> ft	<b>Min</b> 15	<b>Max</b> -	Vacant	~245'
<b>Frontage buildout</b> %	<b>Min</b> 50	<b>Max</b> 100	Vacant	Frontage buildout is not calculated as there is not a “frontage zone”- there is no maximum front setback.
<b>Height</b> stories	<b>Min</b> 1	<b>Max</b> 4	Vacant	one functional story; 32.5 feet.
<b>PARKING PROVISIONS</b>	Location: Side, street side, and rear yards		Vacant	rear

ORDINANCE REFERENCE	REQUIRED		EXISTING CONDITIONS	PROPOSED
<b>PRIVATE FRONTAGES</b>	No specific frontage required		Vacant	n/a
<b>TH LOT REQUIREMENTS</b>				
<b>Width</b> ft	<b>Min</b> 15	<b>Max</b> 25 end unit(s) may be 35	Vacant	21' for mid-units ~60' for end units; <i>exception requested.</i>
<b>Depth</b> ft	<b>Min</b> 80	<b>Max</b> 120	Vacant	130 at far west to 200 at far north. <i>Exception requested.</i>
<b>Area</b> sf	<b>Min</b> 1200	<b>Max</b> 3000	Vacant	east: 12000 <i>exception requested</i> west: 7800 <i>exception requested</i> avg middle: 3000 34,365 for whole "lot".
<b>Coverage</b> %	<b>Min</b> -	<b>Max</b> 60%	Vacant	east: 7% west: 12% average middle: 32%
<b>BUILDING ENVELOPE AND HEIGHT</b>				
<b>Street setback</b> ft	<b>Min</b> 10	<b>Max</b> 20	Vacant	15' at front of porch, ~18' at back of porch.
<b>Side setback</b> ft	<b>Min</b> 0	<b>Max</b> -	Vacant	east: ~40' west: ~35'
<b>Rear setback</b> ft	<b>Min</b> 15	<b>Max</b> -	Vacant	~75'
<b>Frontage buildout</b> %	<b>Min</b> 90	<b>Max</b> 100	Vacant	100% on middle units. <20% on end units. <i>Exception requested.</i>
<b>Height</b> stories	<b>Min</b> 1	<b>Max</b> 3	Vacant	3 stories, ~35'.
<b>PARKING PROVISIONS</b>	Location: Rear yard		Vacant	Rear yard.
<b>PRIVATE FRONTAGES</b>	Porch or stoop		Vacant	Porch. Meets requirements.

**Items to be Addressed:**

1. *Exceptions requested from 122-274(TH):*
  - a. *To permit lot widths in excess of 35' for the eastmost and westmost townhomes.*
  - b. *To permit lot depths in excess of 120' for each townhome.*
  - c. *To permit lot sizes in excess of 3000sf for the eastmost and westmost townhomes.*
  - d. *To permit frontage buildouts of less than 90% on the eastmost and westmost townhomes.*

**BUILDING LOCATION AND SITE ARRANGEMENT**

**§122-128(3)**

*“All elements of the site plan shall be harmoniously and efficiently organized in relation to the character of the proposed use, the size and type of lot, the size and type of buildings, and the character of the adjoining property. The site shall be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.”*

The proposed storage building towards the north of the lot will have a spandrel glass “frontage” oriented towards the Huron River Drive frontage. This frontage relates to the railroad tracks, and across the railroad tracks, the mix of industrial buildings and uses across the tracks. The spandrel glass fenestrations evoke industrial roll-up doors in a decorative manner, a distinct advantage over having such doors facing the HRD frontage. True site access will be from the west end of the Jarvis Street frontage. Paved areas, including parking, turnaround, and rubbish enclosure, will be to the rear of the site and not visible from HRD.

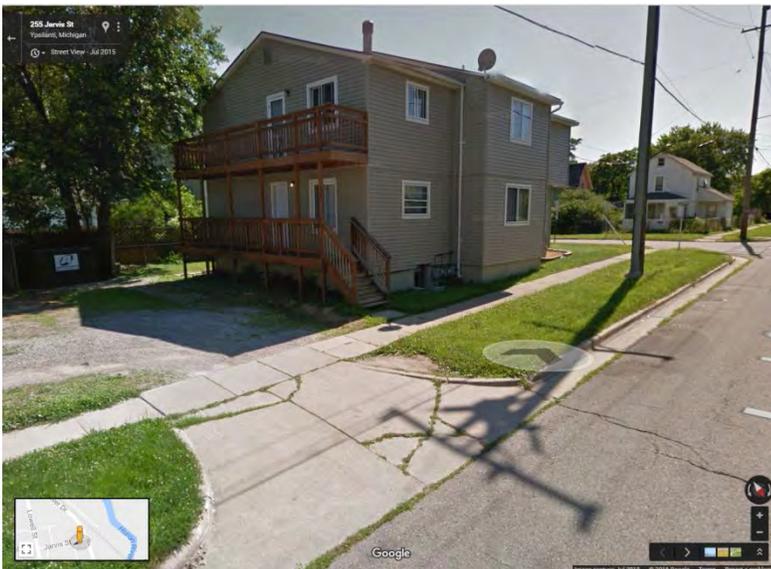
The townhomes will front onto Jarvis, facing the existing single and multifamily units there. Access will be shared with the storage building, but parking will be separate and immediately behind the homes.



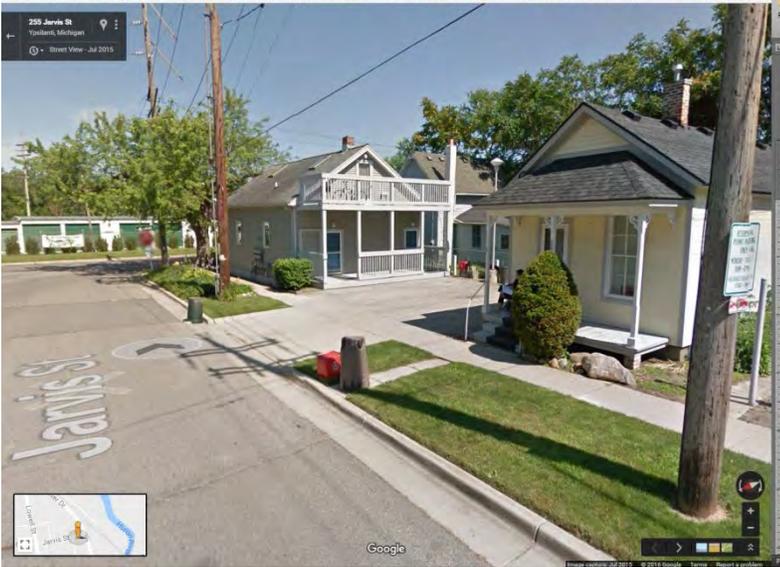
*Aerial with very approximate building locations*



*Google street view: view from Huron frontage of storage building.*



*Google street view: view west from center on Jarvis*



**Google street view: view east from center on Jarvis**

**Items to be Addressed: None.**

**SITE ACCESS, TRAFFIC, AND PARKING**

**§122-128(4)**

*“With respect to vehicular and pedestrian circulation on the site, including walkways, interior drives, and parking; circulation shall to the extent possible create potential cross-and joint-access to adjacent parcels and the existing block layout. Special attention shall be given to the location, number and spacing of ingress and egress points; general interior circulation including turnaround areas; adequate provisions for delivery of services (trash removal, school buses, mail and parcel delivery); separation of pedestrian and vehicular traffic; avoidance of building corners next to access drives; identification of addresses; storage of plowed snow; and arrangement of parking areas that are safe and convenient, and insofar as practicable, do not detract from the design of the proposed buildings and structures, neighboring properties, pedestrian and bicyclist safety, access to transit and flow of traffic on adjacent streets. All buildings or groups of buildings shall be so arranged as to permit adequate access by emergency vehicles as required by the city building code.”*

This development does not propose any new streets. The two points of development, the storage building and the townhomes, share a single access point adjacent to the former North Adams Street, vacated quite a long time ago. This access point is necessarily somewhat offset to the east from the intersection of Adams and Jarvis, as the former Adams was split equally between the two adjacent properties.

**Figure 4: Circulation Standards**

ORDINANCE REFERENCE	REQUIRED	PROPOSED
<b>GC: §122-273</b> <b>CIRCULATION STANDARDS</b>	CN, C, HC, NC, GC, HHS: Sites < 3 acres: circulation plan to ID potential cross and joint access to adjacent parcels	The two points of development share an access point. Joint access is provided.
	Easements: nonmotorized plan, ReImagine Washtenaw, other	n/a

§122-834	<b>PARKING Dimensions</b>	<ul style="list-style-type: none"> <li>• 9'x18' minimum, exceptions if adjacent to wall or overhang provided</li> <li>• May have 20% small car (8'x16', signed)</li> <li>• May have 10% motorcycle (5'x8', signed)</li> </ul>	<p>Spaces for the residential area are 9'x20'; areas adjacent to each unit are 20'x20' and not designated as parking areas.</p> <p>Spaces for the storage building are 10'x20' typical; one barrier-free space is provided.</p>
§122-835	<b>Access</b>	5' walkway from parking lot to parks, commercial, transit, walkways, institutions; raised/marked crosswalks within parking lot	<b>No raised/marked crosswalks within parking lot or across driveways.</b>
	<b>Ingress &amp; Egress</b>	<ul style="list-style-type: none"> <li>• Aligned across ROW, or offset by 25'</li> <li>• &gt;50' from intersection</li> <li>• 20'-30' driveway</li> </ul>	<p>Due to site layout and proposed mix of uses, the drive must either be not-offset-enough from either Huron River Drive or Adams. <i>See engineering review.</i></p>
	<b>Internal Maneuvering</b>	10' minimum drive 90°: 22' maneuvering lane Total w 1 tier: 42' Total w 2 tiers: 62'	Maneuvering lane and drive: 26' More than adequate.
	<b>Surfacing</b>	Durable bonded material or acceptable alternative	<i>Asphalt; cross-section subject to engineering review.</i>
	<b>Drainage</b>	Graded and drained to public storm sewers Alt. BMPs considered	Drained to public storm sewers and detention basin. <i>See engineering review.</i>
	<b>Striping</b>	Required	Provided
	<b>Wheel Stops</b>	Required (curbing acceptable); 6" high at sidewalks	6" curbing provided around perimeter.
	<b>Lighting</b>	§122-641 below	<p>Lighting fixtures comply with 641; lighting levels adequate for parking areas and storage building. <b>No lighting levels or fixtures are indicated on lighting plan for front of townhomes, yet fixtures shown in elevation; provide additional detail.</b></p>
	<b>Screening &amp; Landscaping (internal)</b>	1 tree per 8 spaces => 14/8 = 1.75 => 2	8 trees total adjacent to the parking areas. Met.
		1 landscape island for each continuous 16 spaces	Met
		All aisle-ends & corners protected w curbed island	All aisles are protected w curbed island. Met.
		3' between curb and planting (5' if vehicle overhang)	Met; no conflicts.

	<b>Screening &amp; Landscaping (perimeter)</b>	Screened in accordance with 703 if non-residential use abuts first-floor residential use	No screening shown. <b>Waiver requested due to the wall face having no windows and the use being low-intensity; with a finding that the benefit intended to be secured will exist without the required screening.</b>
		3'-4' screen 80% opacity where visible from ROW	<b>Parking behind townhomes is visible from HRD ROW; no screening shown.</b>
		Landscaped areas, walls, structures, walks- must be protected by curbing	All landscaped areas walls, structures, walk are protected by curbs
<b>§122-836</b>	<b>Motor spaces</b>	1.5 for each dwelling unit, plus 1 for each 10 dwelling units for guest parking. <i>(multiple-family dwellings and townhomes)</i>	9 spaces required for the residential uses.
		1 for 300 square feet of office space, plus 1 per employee on largest employment shift <i>(vehicle, recreational vehicle, storage and towing)</i>	2 spaces required. No office space proposed for the storage use. Two employees presumed on the largest "shift" at the storage area, as trucks are rotated.
			Total of 11 spaces required; 14 provided, one of which barrier-free (located to be able to serve both storage and residential units). As the spaces are all on the same parcel, they can be counted together, per 122-833(5).
	<b>Bicycle spaces</b>	1 per 5 motor spaces, minimum of 2 14 motor spaces provided; 3 bike spaces required	<b>Not shown.</b>
<b>§122-837</b>	<b>Parking discounts</b>	Transit <i>20% if w/in 300' of commuter rail or 100' of transit stop</i>	The closest bus stop is at Jarvis and Lowell, more than 100' away.
		Alternative Vehicles <i>1 car -sharing spot = 4 spaces 1 carpooling/vanpooling = 2 spaces-</i>	None
		Bicycle <i>4 covered bike spaces = 1 space; free employee showers = 4 spaces</i>	No covered bike spaces provided.
<b>§122-647</b>	<b>SIDEWALKS</b>	provide a sidewalk or shared-use path	New 5' sidewalk shown on Jarvis frontage. <b>New 8' shared use path shown for HRD frontage, the Border to Border connection. This shared use path must be 10'.</b>

<b>§122-649</b>	<b>TRAFFIC VISIBILITY</b>	Maintain shrubs/other obstructions lower than 30" and trees/other obstructions higher than 8': At driveway: within a 10'x10' triangle formed by the street ROW line and the edge of the driveway At intersection: within a 25' x 25' triangle formed by an extension of the property lines, as measured from the pavement edges.	Appears met, but no landscape plans have been provided.
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**Items to be Addressed:**

1. Provide marked or raised path for pedestrians to/from parking areas.
2. **No lighting levels or fixtures are indicated on lighting plan for front of townhomes, yet fixtures shown in elevation; provide additional detail.**
3. Waiver requested from strict application of 122-703 due to the wall face having no windows and the use being low-intensity; with a finding that the benefit intended to be secured will exist without the required screening.
4. Screen the parking north of the townhomes from the Huron Rive Drive frontage in accordance with 122-835(11)(c)
5. Provide at least three bicycle parking spaces for the site.
6. Increase width of shared-use path on Huron River Drive frontage to 10'.

**STREET DESIGN**

**§122-128(5)**

*"Streets are designed in context with the urban form and continue the established pattern of the surrounding area."*

No new streets, public or private, are being proposed as part of this development. No changes to the existing rights of way are proposed.

**Items to be Addressed: None**

**ENGINEERING & STORMWATER**

**§122-128(6), §122-128(7)**

*"Adequate services and utilities including sanitary sewers shall be available or provided, with sufficient capacity to properly serve the development. Appropriate measures will be taken to ensure that site drainage will not adversely affect adjoining properties or the capacity of the public storm drainage system, or nearby bodies of water. Provisions shall be made to accommodate stormwater and prevent soil erosion. All stormwater management facilities, including but not limited to storm sewers and detention/retention facilities, shall be designed in accordance with the "Rules of the Washtenaw County Water Resources Commissioner," together with any special provisions established by the city.*

*Natural resources will be protected to the maximum feasible extent. The proposed development will not cause soil erosion or sedimentation problems, and will respect floodways or floodplains on or in the vicinity of the subject property."*

**Engineer's letter will be provided prior to the meeting on 10/19.**

Notes from YCUA:

"We've looked at the proposed water main and sanitary sewer and neither utility needs to be extended into the site as shown. The residential units fronting Jarvis can connect to the existing water and sanitary in the Jarvis

right-of-way. The commercial building can connect to the sanitary sewer in Huron River Drive. As part of the project, the existing 10" diameter water main in the Huron River Drive right-of-way needs to be replaced with a new 12" diameter water main from Jarvis to the north property line of the subject parcel and the commercial building connected to the new water main. I believe the cost of the 12" water main will be about the same as the cost of the proposed water main and sanitary sewer mains currently shown on the plans."

**Items to be Addressed:**

*Items on the Engineer's letter as submitted.*

*Townhomes:*

1. Connect to existing water and sanitary sewer in the Jarvis right-of-way.

*Commercial:*

1. Connect to existing sanitary sewer in Huron River Drive ROW.
2. For water infrastructure, replace the existing 10" main in the Huron River Drive ROW from Jarvis to the north property line with a 12" main, and connect to the new 12" main.

**SCREENING §122-128(8)**

*"The site plan shall provide reasonable visual and sound privacy for all dwelling units on or adjacent to the property. Fences, walks, barriers, and landscaping shall be used, as appropriate, for protection and enhancement of the property. All outdoor storage of materials, loading and unloading areas, and refuse containers shall be screened or located so as not to be a nuisance. Outdoor lighting shall be shielded so as to not adversely affect neighboring properties or traffic on adjacent streets."*

**Figure 5: Screening**

ORDINANCE REFERENCE	REQUIRED	PROPOSED
<b>§122-641</b> <b>Lighting</b>	<ul style="list-style-type: none"> <li>• Dark Sky compliant; may be full cutoff where affecting residential uses</li> <li>• not &gt;0.5 fc @ lot line</li> <li>• not &gt;16' tall when abutting R1, CN-Mid, CN-SF or abutting one- or two-family homes. otherwise, NTE 30' or the height of the building, whichever less.</li> <li>• not &lt; 0.3 fc at parking/loading areas or building entrances.</li> </ul>	Met for the majority of the site. <b>However, no data given (cut sheet or photometric) for lighting at Jarvis frontage of townhomes. Provide.</b>
<b>§122-650</b> <b>Refuse Containers</b>	masonry enclosure 1' taller than dumpster (no less than 6'), in rear yard, 80% opaque swing door, on a concrete pad	<b>One masonry refuse container is shown adjacent to the storage building. Please clarify anticipated usage.</b>
<b>§122-703</b> <b>Screening Between Land Uses</b> <i>if conflicting use</i>	visual buffer of at least 80% opacity and 6' height	No screening shown. <b>Waiver requested due to the wall face having no windows and the use being low-intensity; with a finding that the benefit intended to be secured will exist without the required screening.</b>

ORDINANCE REFERENCE	REQUIRED	PROPOSED
<p><b>§122-704 Street Trees</b>  <b>&amp;</b>  <b>§122-711(e)</b></p>	<p>1 tree per 30' of lineal frontage:                       Jarvis: approx. ~220 feet, 7 trees required                      Huron River Drive: ~440 feet, 14 trees                       Spacing:                       Distance from street corners: 35'                      Distance from drives/alleys: 15'                      Distance from streetlights: 15'</p>	<p>None. Appears, per quantities provided, that applicant interpreted the requirement as requiring trees to be placed interior to the site, not on the right-of-way. Either staggering these trees to some extent, or providing them all in the ROW would be  <b>Move two of the Acre Rubrum and one of the Cleveland Pear proposed in the front yards of the townhomes to the right-of-way between the sidewalk and the street on the Jarvis frontage.</b>   <b>On the HRD frontage, rather than having 14 trees interior to the site, stagger to either side of the proposed border-to-border trail.</b></p>
	<p>Centered between sidewalk and back of curb</p>	<p>n/a</p>
	<p>If part of Urban Forestry Plan, must conform</p>	<p>n/a</p>
<p><b>§122-707 Foundation Landscaping</b>  <i>Required in MD, PMD zoning districts and with (Large Footprint) Single Story Commercial Buildings on front or sides of buildings facing public ROW, parking, or other access</i></p>	<p>6 shrubs per 30 lineal feet of applicable building frontage in 6' wide planting area</p>	<p>Not required in this zoning district (GC) nor for these building types (IT, TH). Applicant has provided extensive low-growing landscaping on all four sides of the storage building.</p>
<p><b>§122-708 Site Landscaping</b></p>	<p>10%</p>	<p>The majority of the site will be landscaped, well in excess of the amount required. Met.</p>
<p><b>§122-710 Exterior Electrical</b></p>	<p>Screen when visible from any primary visual exposure area</p>	<p>n/a</p>
<p><b>§122-712 Maintenance</b></p>	<p>Readily available and acceptable water supply; may install underground sprinkler system</p>	<p><b>Applicant to note watering/maintenance plan.</b></p>

**Items to be Addressed:**

1. Provide data for lighting at Jarvis Street frontage of townhomes.
2. Clarify anticipated usage of the masonry enclosure: only for storage facility, or also for residential?
3. Waiver requested from strict application of 122-703 due to the wall face having no windows and the use being low-intensity; with a finding that the benefit intended to be secured will exist without the required screening.
4. No street trees have been provided in the right-of-way. Stagger trees shown in the front yards to either side of the sidewalk & border-to-border trail.
5. Note watering or maintenance plan for landscaping on the landscaping plan.

## **PHASING**

**§122-128(9)**

*"Separate phases of development shall be in logical sequence, and each phase shall stand alone so that no one phase will depend upon a subsequent phase for adequate access, public utility services, drainage, or other improvements."*

No phasing is planned for this site.

## **OTHER DEPARTMENT AND AGENCY APPROVALS**

**§122-128(10)**

*"Site plans shall conform to all applicable requirements of state and federal statutes, including health and pollution laws, fire or explosion hazards, toxic and hazardous materials, and barrier-free requirements. Site plan approval may be conditioned on the applicant receiving necessary county, state, or federal permits before a local building permit or occupancy permit is granted."*

## **DEPARTMENT OF PUBLIC SERVICES**

The applicant is responsible for obtaining permits from the Department of Public Services before beginning work on any portion of the City right-of-way, including sidewalks, utility cuts, curbs, driveways, and multi-use paths. Final approval of all public infrastructure will be required prior to dedication to the City.

## **MASTER PLAN CONSIDERATIONS**

**§122-128(11)**

*"An objective of site plan review shall be to protect and promote public health, safety, sustainability and general welfare. It is also the intent of site plan review to improve the quality of existing developments as they are expanded, contracted, or redeveloped in keeping with sound site development standards of this chapter and city master plan."*

In 2013, the Planning Commission adopted a new Master Plan. This plan lays out nine guiding values and makes policy and form recommendations for areas of the City. This plan makes recommendations for corridors in general; for areas near, but not including, this specific area, including the Former Farm Bureau property and the Bay Logistics facility; and general areas near campus.

### **Guiding Values (p 8-9)**

- *Safety comes first*
- *Diversity is our strength*
- *Ypsilanti is sustainable*
- *Communication is key*
- *Anyone, no matter what age or income, can find a place to call home in Ypsilanti*
- *Easily walk, bike, drive or take transit from anywhere*
- *Great place to do business, especially green and creative*
- *Everyone in the region knows Ypsilanti has great things to do in great places that are in great shape!*
- *Ypsilanti is an asset of Eastern Michigan University, and Eastern Michigan University is an asset of Ypsilanti*
- *Build a community amongst ourselves and with our neighbors*

1. The plan proposes a housing type not commonly found in Ypsi- townhomes. This will increase the housing variety. ("Anyone, no matter what age or income, can find a place to call home in Ypsilanti")
2. The plan maintains and improves the walkability of the east end of Jarvis Street, and vastly improves the walkability and bike-ability of their Huron River Drive frontage. ("Easily walk, bike, drive, or take transit from anywhere.")
3. Residential mirrors residential on Jarvis. On Huron River Drive, the proposed light industrial building is a significant improvement, not a precise mirror, of the buildings across the street and across the railroad tracks. The use (and mix) mirrors those across the street and tracks.

4. The storage facility for the vehicles helps to maintain the collection of the Michigan Firehouse Museum locally. ("Great place to do business, especially green and creative.")

#### **General corridor description (p 30)**

*"General Corridors are streets that connect the City to neighboring municipalities and the centers. Many of the corridors – Ecorse, East Michigan, West Michigan and Washtenaw – are primarily suburban in form and are currently appeal to auto-oriented commercial uses. The shallow lots along many of these corridors no longer accommodate the larger 21st century footprint of suburban style buildings with parking in front and lawns on all sides. The new pattern proposed in this Plan will allow parking on the street and require buildings to be closer to the street; with minimal yards, lots will have more buildable area for residential, commercial and office uses mixed throughout.*

*Other corridors – Huron River Drive and Harriet – have one type of building on one side of the street and a distinctly different situation on the other side of the street. Future regulations would require, where possible, the two sides of the street mirror one another. In twenty years, the dignity of Harriet Street should be restored to a walkable shopping district for the adjoining neighborhoods. Huron River Drive should become a point of integration between the campus of Eastern Michigan and the City. Addition of sidewalks, crosswalks and bicycle lanes are essential to transitioning this street from a dividing line geared only to move vehicles to a place where the City and campus meet seamlessly."*

This lot is located at the intersection of Huron River Drive and Jarvis. On Jarvis it faces an established neighborhood; on Huron River Drive it is separated from "across the street" by two streets and a railroad right-of-way. These two sides of the "street" might be better designed to complement one another, as development occurs. Both are considered redevelopment areas, although only the Railroad Street corridor was called out and provided a conceptual design in the Master Plan.

#### **Corridors, generally (p 58)**

*"Retain the mix of existing uses within each corridor but allow them throughout the corridor*

*The form-based code would allow all the current uses within a corridor area to remain, but also to be anywhere throughout that area. For instance, a vacant lot now zoned commercial instead would be zoned general or historic corridor and all of uses, such as multiple-family, commercial or office within that segment of the street happen without a rezoning. During the development of the form-based code, some of the uses currently allowed in a corridor may be eliminated, such as on Washtenaw Avenue. The current general business zoning district (B4) allows a variety of commercial uses that would not fit the vision for the area, community values, or are even possible given the size and shape of parcels. In those instances, the allowed uses would be trimmed."*

The proposed mix of uses- long-term storage and residential – are indeed characteristic of General Corridor.

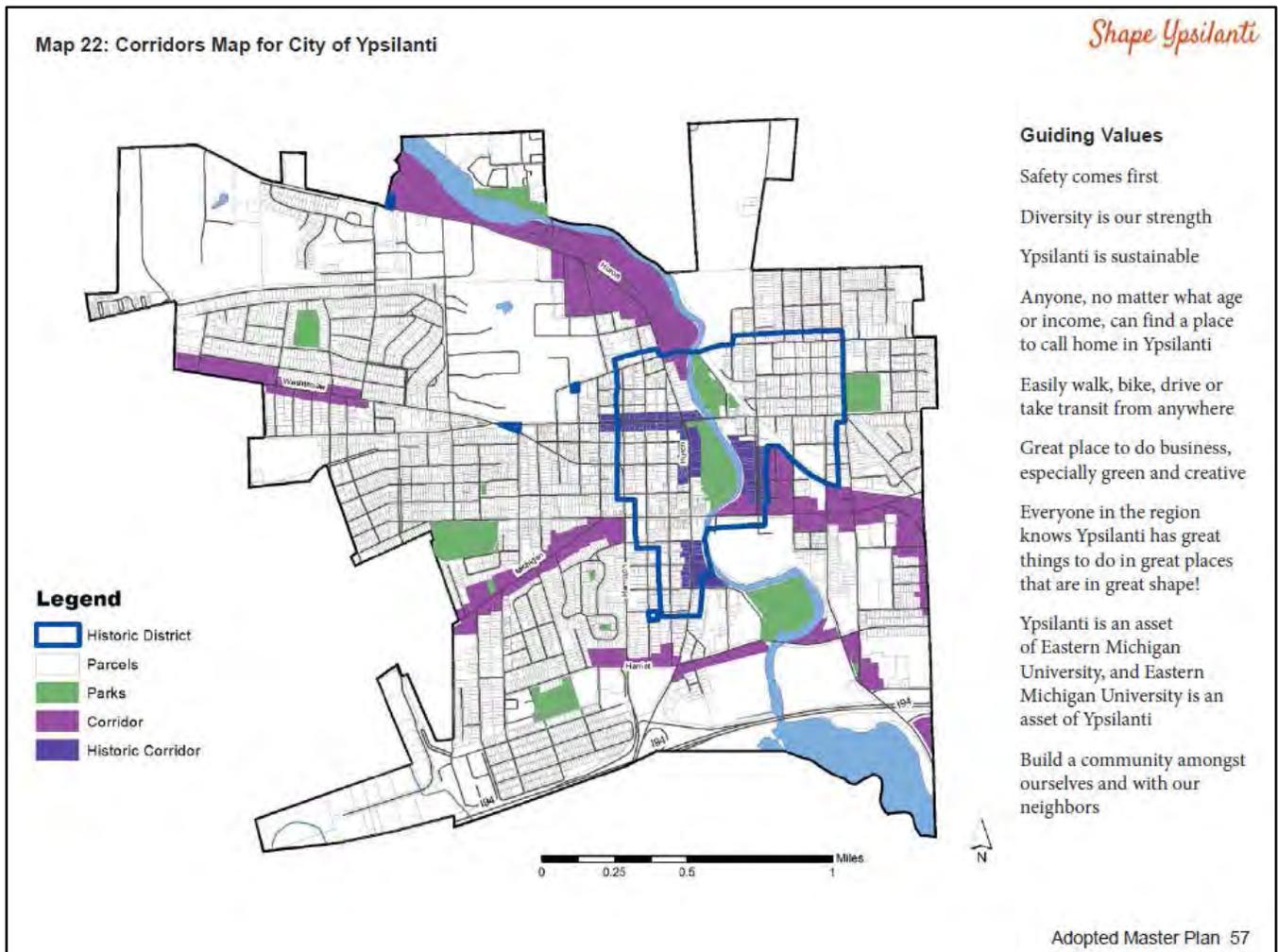
#### **General Corridor, specifically (p 58)**

*Require a pedestrian-friendly building form while allowing a mix of uses for both students and residents along Huron River Drive, Leforge & Railroad corridors*

*These corridors are borders with the EMU campus that currently divide it from it the City due to the width of the roads and barriers of the Huron River and railroad tracks. In the form-based code, the regulations should be changed to create a walkable environment with appropriate uses that integrates the City and the EMU campus. A design process for this area should be part of the 5-year update to this plan.*

This portion of the Huron River Drive corridor – north of Jarvis, south-east of Lowell – is challenged by its separation from other uses to the east by the road, railroad, and other road. However, the addition of the Border to Border Trail, beginning to bridge the gap between EMU and Frog Island, is a significant gain that future development could tie into and extend.

The townhomes proposed are pedestrian-friendly, with large porches a comfortable distance from the street for both resident and passers-by. The storage facility is set slightly further back from the street, appropriate for the higher-traffic location and lack of access.



**Items to be addressed:** None.

## RECOMMENDATIONS

Staff recommends the Planning Commission recommend that City Council approve of the Planned Unit Development Plan and rezoning to Planned Unit Development for the Firehouse Storage and Townhouse project at 298 Jarvis, with the following findings, exceptions, waivers, and conditions:

### Findings

1. The proposed development is consistent with the Planned Unit Development concept of providing zoning flexibility in return for material community benefit.
2. The public infrastructure proposed has a significant positive impact upon the area.
3. The proposed development will be consistent with all surrounding uses.
4. The proposed development will not have an adverse impact on traffic or other public services and infrastructure.
5. The proposed development meets several Master Plan goals for the City and for the area.

### Exceptions

1. Exceptions requested from §122-274(TH):
  - a. To permit lot widths in excess of 35' for the eastmost and westmost townhomes.

- b. To permit lot depths in excess of 120' for each townhome.
  - c. To permit lot sizes in excess of 3000sf for the eastmost and westmost townhomes.
  - d. To permit frontage buildouts of less than 90% on the eastmost and westmost townhomes.
2. Exception requested from guiding regulations of Core Neighborhood district to allow for the construction of single-family attached homes.

**Conditions**

1. Provide marked or raised path for pedestrians to/from parking areas.
2. Provide additional detail on lighting levels and fixtures for front of townhomes in accordance with §122-641.
3. Screen the parking north of the townhomes from the Huron Rive Drive frontage in accordance with §122-835(11)(c).
4. Provide at least three bicycle parking spaces for the site.
5. Increase width of shared-use path on Huron River Drive frontage to 10'.
6. Items on the Engineer's letter as submitted.
7. The townhomes shall connect to existing water and sanitary sewer in the Jarvis right-of-way.
8. The storage building must connect to existing sanitary sewer in Huron River Drive ROW.
9. For water service for the storage facility, replace the existing 10" main in the Huron River Drive ROW from Jarvis to the north property line with a 12" main, and connect to the new 12" main.
10. Clarify anticipated usage of the masonry rubbish enclosure: only for storage facility, or also for residential?
11. No street trees have been provided in the right-of-way. Stagger trees shown in the front yards to either side of the sidewalk & border-to-border trail.
12. Note watering or maintenance plan for landscaping on the landscaping plan.

**Waivers**

1. Waiver requested from strict application of §122-703 due to the wall face having no windows and the use being low-intensity; with a finding that the benefit intended to be secured will exist without the required screening.

---

Bonnie Wessler  
City Planner, Community & Economic Development Division

Cc: File  
Applicant (Bowers + Assoc)  
Engineer (Nowak Fraus)

Planned Unit Development  
 B+A Project #: 13-223

The proposed site at the corner of Jarvis Street and N. Huron Drive is currently zoned as 'General Corridor'. Surrounding the site to the south and west is a neighborhood of 2-story, single family dwellings, as well as a handful of 3-story apartment buildings that serve primarily as student housing. The site is also bordered by an industrial presence, with large pre-engineered buildings to the north and east.

After looking at the location and context of the proposed site development, the proposed PUD designation would allow for the site to serve a full purpose, while keeping in tune with the existing neighborhood's density. The northeast portion of the proposed development is well suited for a light industrial use. The proposed commercial building would not bring significant traffic thru the existing neighborhood, nor would it impact the environmental conditions. The southeast portion of the proposed development is a preferable location for medium or high density housing.

**TABLE OF LAND USE**

USE	AREA	AREA %
LOT TOTAL	106,404 SF	100%
	(2.44 ACRES)	
COMMERCIAL	12,651 SF	12%
(1) STRUCTURE		
RESIDENTIAL	6,288 SF	6%
(6) TOWNHOME UNITS		
GROUND COVER	18,145 SF	17%
OPEN AREA	58,955 SF	55%
BERM	10,365 SF	10%

2400 S. HURON PARKWAY  
 LOWER LEVEL  
 ANN ARBOR, MICHIGAN 48104  
 T: 734.975.2400  
 F: 734.975.2410  
 WWW.BOWERSARCH.COM

Planned Unit Development  
B+A Project #: 13-223

Project Description:

This project consists of a 12,651 square foot building on a 106,404 square foot (2.44 acre) site at the corner of Huron River Drive and Jarvis Street. The building is a single story, pre-engineered metal clear span structure. The Michigan Firehouse Museum will be using the building to store and display fire engines. Additionally, 6,288 square feet of land is devoted to (6) six residential units. The units are (3) three story townhomes, containing (4) four bedrooms each, running along Jarvis Street on the south east corner of the site.

# PLANNED UNIT DEVELOPMENT

## 298 JARVIS STREET YPSILANTI, MICHIGAN

### OWNER/DEVELOPER:

MICHIGAN FIREHOUSE MUSEUM  
110 West Cross Street  
Ypsilanti, Michigan 48197  
Ph: (734) 547-0663

### ARCHITECT/PLANNER:

BOWERS + ASSOCIATES, INC.  
2400 South Huron Parkway  
Ann Arbor, Michigan 48104  
Ph: 734-975-2400 Fax: 734-975-2410

### CIVIL ENGINEER:

NOWAK & FRAUS ENGINEERS  
46777 Woodward Ave  
Pontiac, Michigan 48342  
Ph: 248-332-7931 Fax: 248-332-8257

### DRAWING INDEX

#### ARCHITECTURAL

T1.00	TITLE SHEET
SP1.00	SITE PLAN
A1.00	FLOOR PLAN (01)
A5.00	EXTERIOR ELEVATIONS (01)
A1.00	TOWNHOUSE FLOOR PLANS (03)
A5.00	TOWNHOUSE ELEVATIONS (03)
PH1.00	PHOTOMETRIC SITE PLAN

#### CIVIL

C1	BOUNDARY/ TOPOGRAPHIC SURVEY
C2	DEMOLITION PLAN
C3	PAVING AND GRADING PLAN
C4	UTILITY PLAN
C5	SOIL EROSION CONTROL/ STORM WATER MANAGEMENT

#### LANDSCAPE

LT.00	LANDSCAPE PLAN
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**BOWERS+ASSOCIATES**  
ARCHITECTURE DESIGN  
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104  
P: 734.975.2400 • F: 734.975.2410  
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION  
**PLANNED UNIT DEVELOPMENT**  
298 JARVIS STREET  
YPSILANTI, MICHIGAN

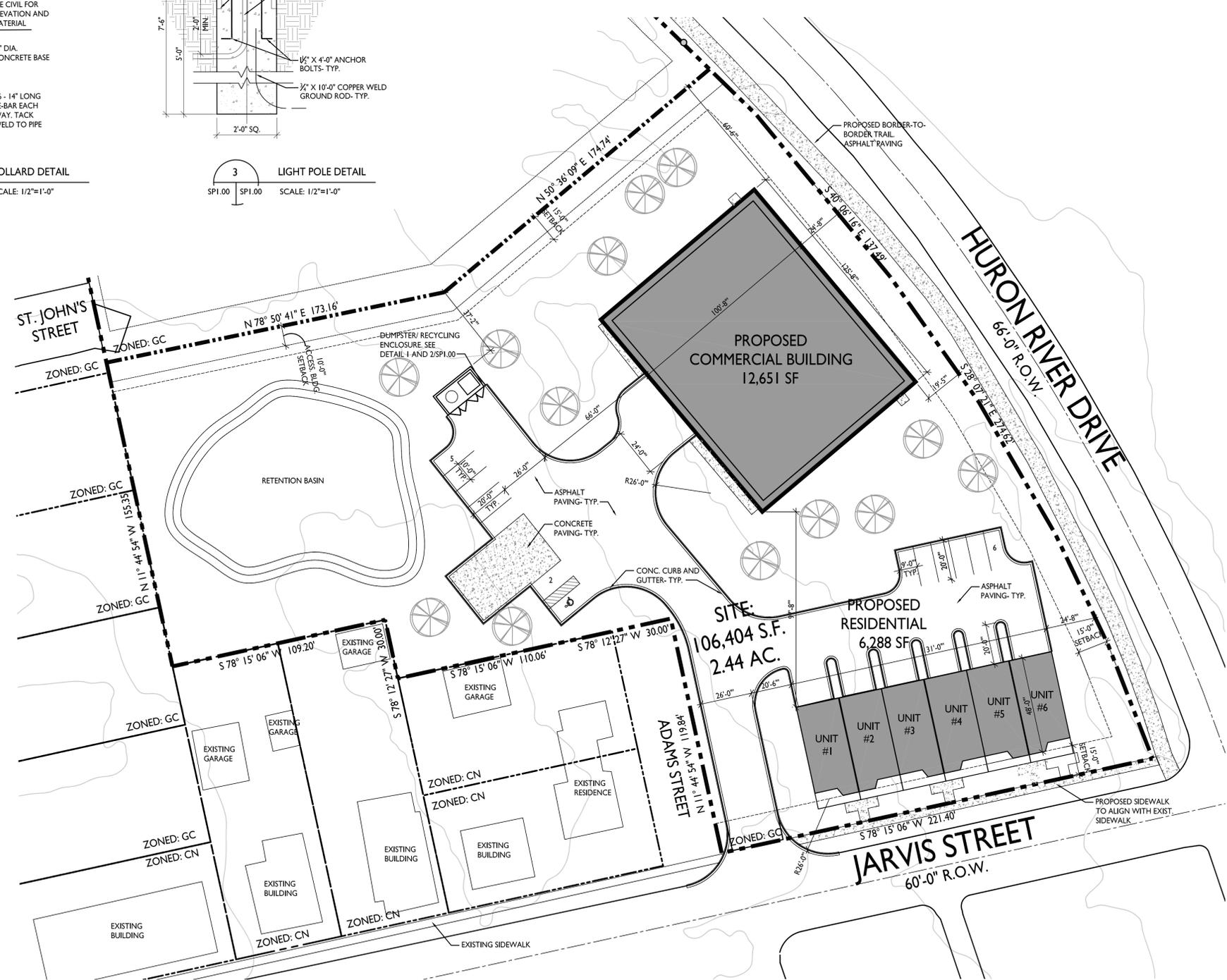
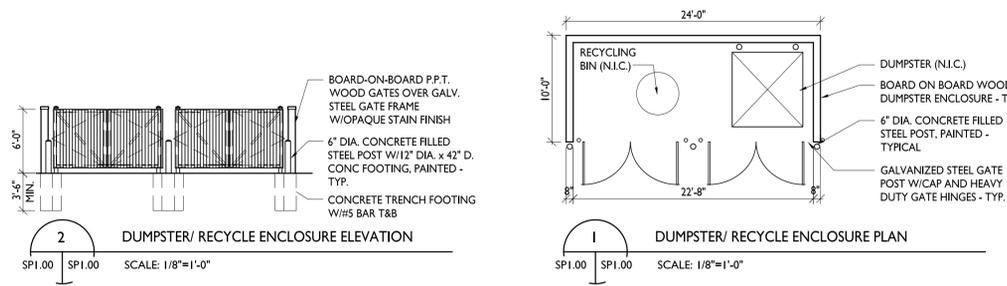
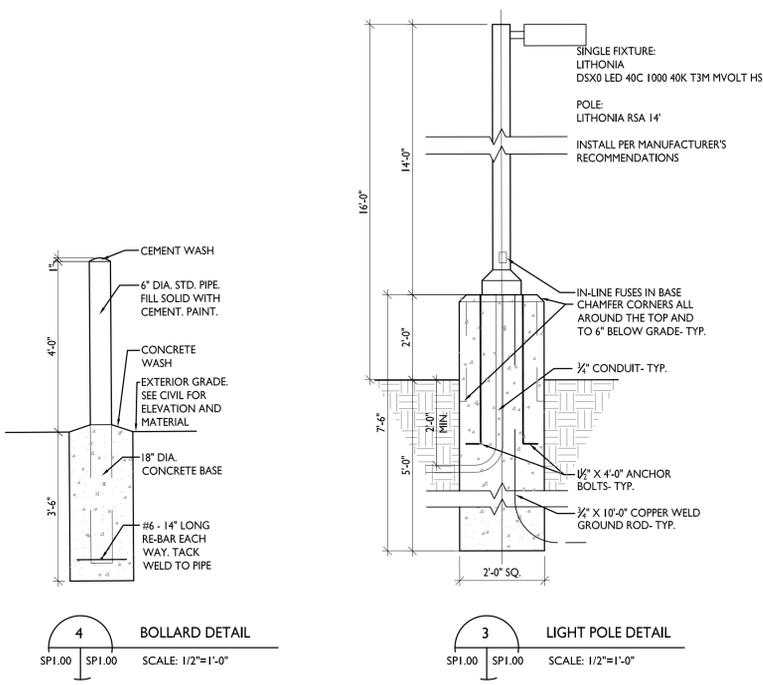
PROJECT + NUMBER  
**13-223**

ISSUE + DATE

15 SEPT 2015	O. REV.
19 OCT 2015	O. REV.
2 NOV 2015	OWN. REV.
10 DEC 2015	
29 FEB 2016	SITE REV
23 SEPT 2016	PERMIT

SHEET + TITLE  
TITLE SHEET  
13223-02T100.DWG

SHEET + NUMBER  
**T1.00**



PRELIMINARY SITE PLAN  
SCALE: 1" = 30'

**OWNER/DEVELOPER**

MICHIGAN FIREHOUSE MUSEUM  
110 W. CROSS STREET  
YPSILANTI, MI 48197  
T: 734.547.0663

**ARCHITECT/PLANNER**

BOWERS + ASSOCIATES, INC.  
2400 S. HURON PARKWAY  
ANN ARBOR, MI 48104  
T: 734.975.2400  
F: 734.975.2410

**SITE/BUILDING DATA**

PARCEL SIZE: 106,404 SQ. FT. (2.44 ACRES)  
EXISTING ZONING: GC (GENERAL CORRIDOR)  
PROPOSED ZONING: GC (GENERAL CORRIDOR)  
PROPOSED USE: SINGLE STORY COMMERCIAL  
MULTI-FAMILY RESIDENTIAL  
REQUIRED FRONT SETBACK: 15' MAX.  
PROPOSED FRONT SETBACK: 15'-0"  
REQUIRED SIDE SETBACK: 0'  
PROPOSED SIDE SETBACK: 19'-5"  
24'-8"  
37'-5"  
REQUIRED REAR SETBACK: 15' MIN. (25' ADJ. TO SINGLE FAMILY RES.)  
PROPOSED REAR SETBACK: 10' MIN. @ ACCESSORY BLDG  
MAX. BUILDING HEIGHT: 61'-5"  
PROPOSED BUILDING HEIGHT: (1) STORY  
32'-7 1/2" (TOP OF ROOF MIDPOINT)  
(1) STORY COMMERCIAL  
32'-0"  
(2-3) STORY RESIDENTIAL  
PROPOSED BUILDING AREA: 12,651 SQ. FT. (COMMERCIAL)  
6,288 SQ. FT. (RESIDENTIAL)  
REQUIRED LOT COVERAGE: 60% MAX. (63,842 S.F.)  
PROPOSED LOT COVERAGE: 38% (40,541 S.F.)

**PARKING DATA**

VEHICLE PARKING REQUIRED: (1) PER EVERY 300 SQ. FT. OFFICE AREA + (1) PER EMPLOYEE  
(3) SPACES PER DWELLING UNIT (RESIDENTIAL)  
PARKING PROVIDED: 7 SPACES  
(2) DRIVEWAY SPACES PER UNIT + 8 ADDITIONAL ON-SITE= 20 SPACES (RESIDENTIAL)

**LANDSCAPE DATA**

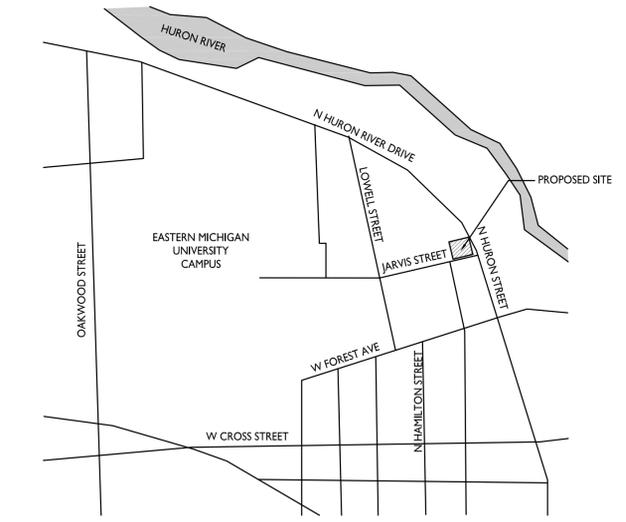
LANDSCAPING REQUIRED: MEETS LOCAL REQUIREMENTS  
LANDSCAPING PROVIDED: TO MEET LOCAL REQUIREMENTS

**LEGAL DESCRIPTION**

Part of the SW 1/4 of Section 4, T.3S., R.7E., City of Ypsilanti, Washtenaw County Michigan, also part of lots 1 and 2, all of Lots 9 through 13, all of lots 15 through 17, lot 24, lot 27, part of vacated St. John's Street, the East 1/2 of Adams Street adjoining lots 9 and 10 vacated by the City of Ypsilanti, in the year 1904, and all that portion of St. John's Street and Adams Street adjoining said lots of "Scovill and Tuttle Subdivision" as recorded in Liber I of Plats, Page 26, Washtenaw County Records, of Lots 9, 10, 11, 12, 13, 39, a part of Lots 38 and 40, and a portion of unnumbered land Southeast of the numbered Lots in Jarvis' Original Addition to Ypsilanti in the SW 1/4 of Section 4, T.3S., R.7E., as recorded in Liber I of Plats, Page 26, Washtenaw County Records, being more particularly described as: Commencing at the Southwest corner of said Lot 27; thence, N 11° 44' 54" W, 155.35 feet; thence N 78° 50' 41" E, 173.16 feet; thence N 50° 36' 09" E, 174.74 feet; thence 137.60 feet along an arc of a curve to the right, (radius 978.03 feet, central angle 08° 03' 40", chord bears S 40° 06' 16" E, 137.49 feet); thence 275.83 feet along an arc of a curve to the right, (radius 849.86 feet, central angle 18° 35' 45", chord bears S 28° 07' 21" E, 274.62 feet); thence S 78° 15' 06" W, 221.40 feet; thence, N 11° 44' 54" W, 119.84 feet; thence S 78° 12' 27" W, 30.00 feet; thence S 78° 15' 06" W, 110.06 feet; thence N 11° 44' 54" W, 30.00 feet; thence S 78° 15' 06" W 109.20 feet to the point of beginning. Containing 106,404 square feet or 2.443 acres.

**GENERAL NOTES**

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL MEET LOCAL MUNICIPALITY ORDINANCE REQUIREMENTS.



LOCATION MAP  
NO SCALE

**BOWERS + ASSOCIATES**  
ARCHITECTURE & DESIGN  
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104  
P: 734.975.2400 • F: 734.975.2410  
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION  
**PLANNED UNIT DEVELOPMENT**  
298 JARVIS STREET  
YPSILANTI, MICHIGAN

PROJECT + NUMBER  
**13-223-01**

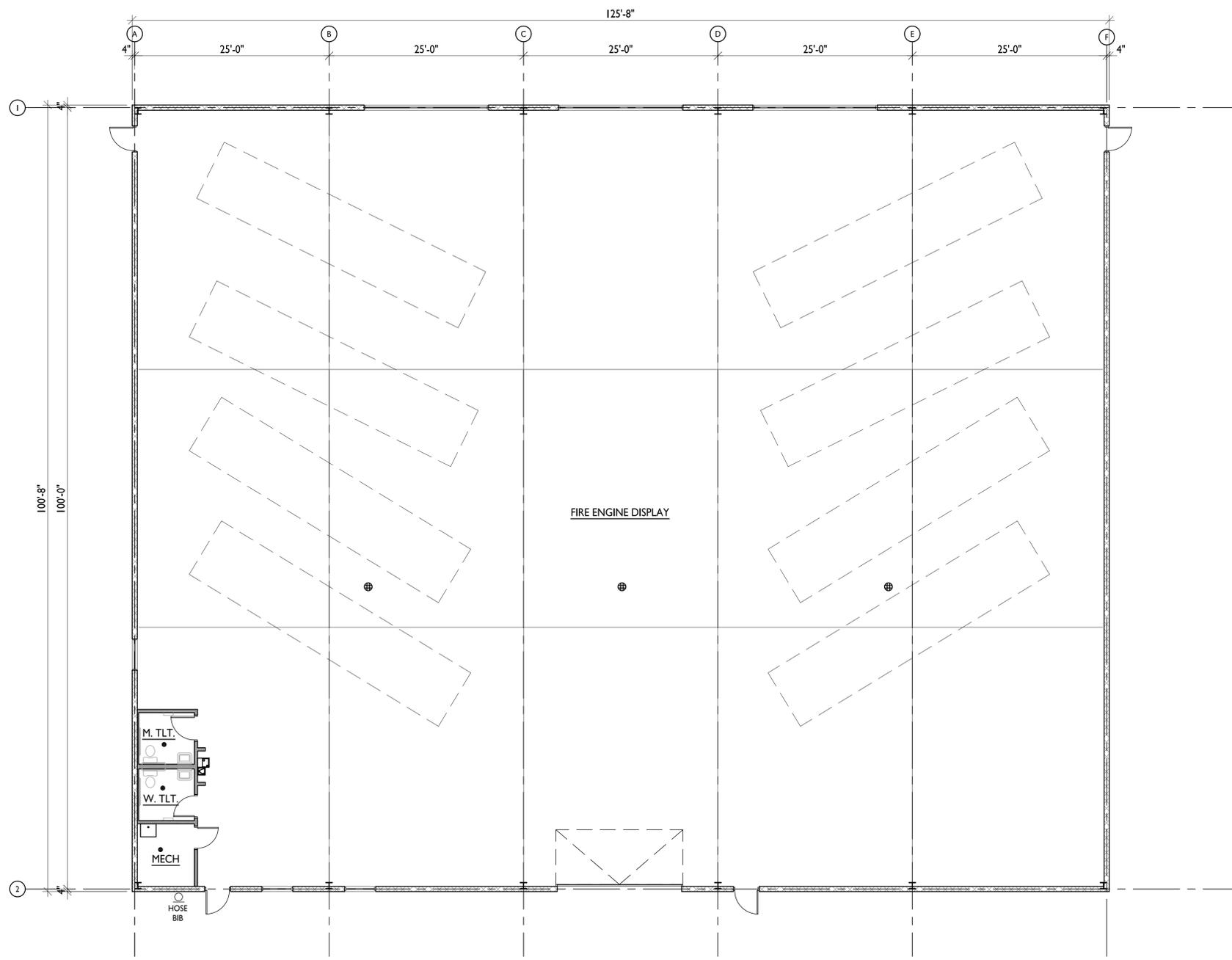
ISSUE + DATE

15 SEPT 2015	O. REV.
19 OCT 2015	O. REV.
2 NOV 2015	CONTR
10 DEC 2015	
29 JAN 2016	SITE REV
31 MAY 2016	REV.
23 SEPT 2016	PERMIT

STATE OF MICHIGAN  
SCOTT M. BOWERS  
ARCHITECT  
82576  
LICENSED ARCHITECT

SHEET + TITLE  
PRELIMINARY  
SITE PLAN  
132232100H.dwg

SHEET + NUMBER  
**SP1.00**



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NOTE: FINISHES AS  
SELECTED BY OWNER

**BOWERS ASSOCIATES**  
ARCHITECTURE DESIGN  
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104  
P: 734.975.2400 • F: 734.975.2410  
WWW.BOWERSARCH.COM

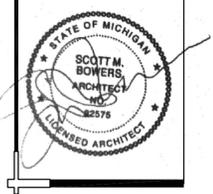
CONSULTANT + NAME

PROJECT + INFORMATION  
**PLANNED UNIT DEVELOPMENT  
FIRE ENGINE STORAGE**  
298 JARVIS STREET  
YPSILANTI, MICHIGAN

PROJECT + NUMBER  
**13-223-01**

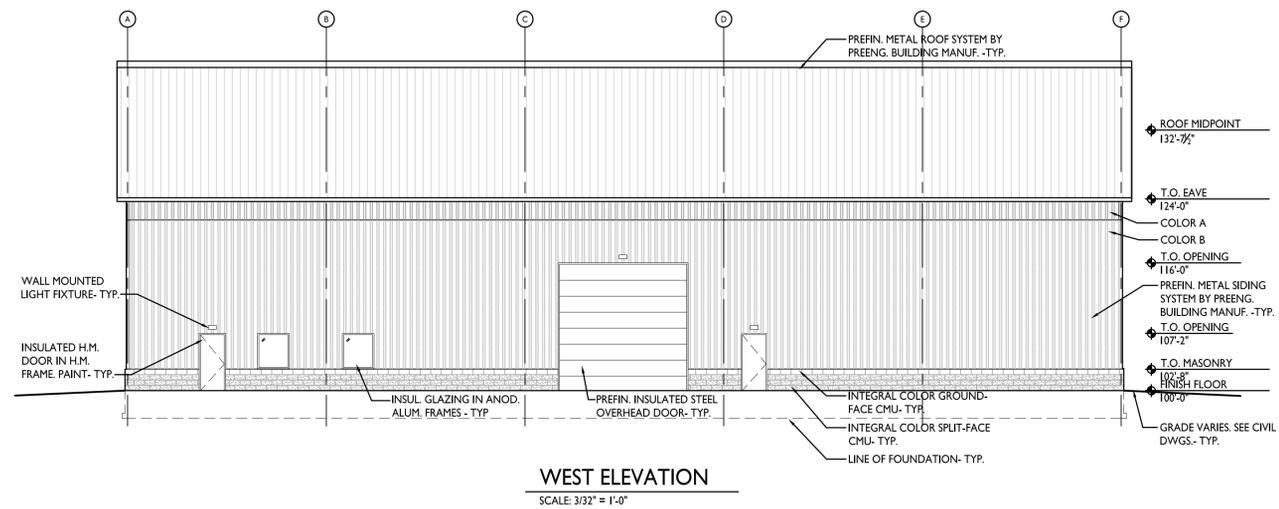
ISSUE + DATE

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2 NOV 2015	CONTR
10 DEC 2015	
29 JAN 2016	SITE REV
23 SEPT 2016	PERMIT

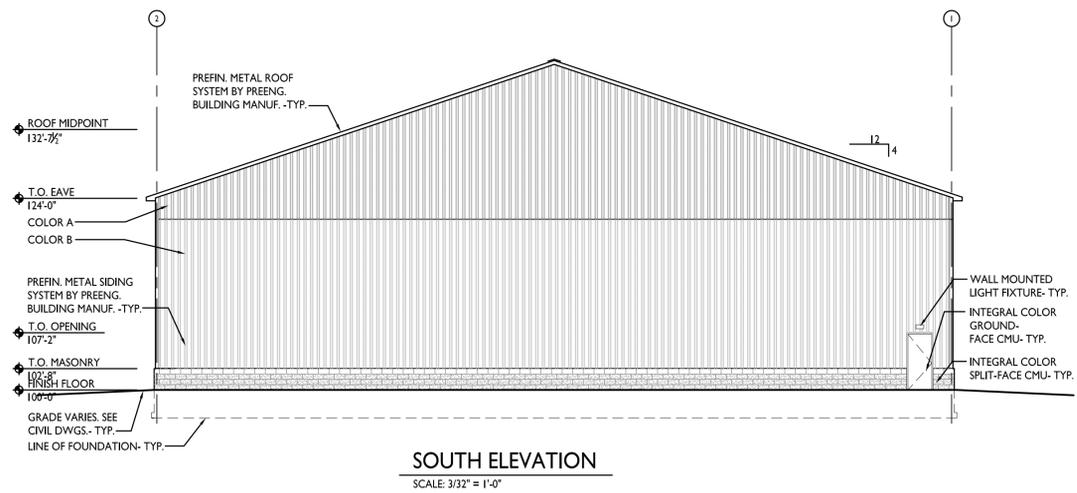


SHEET + TITLE  
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1322301MASTH.dwg

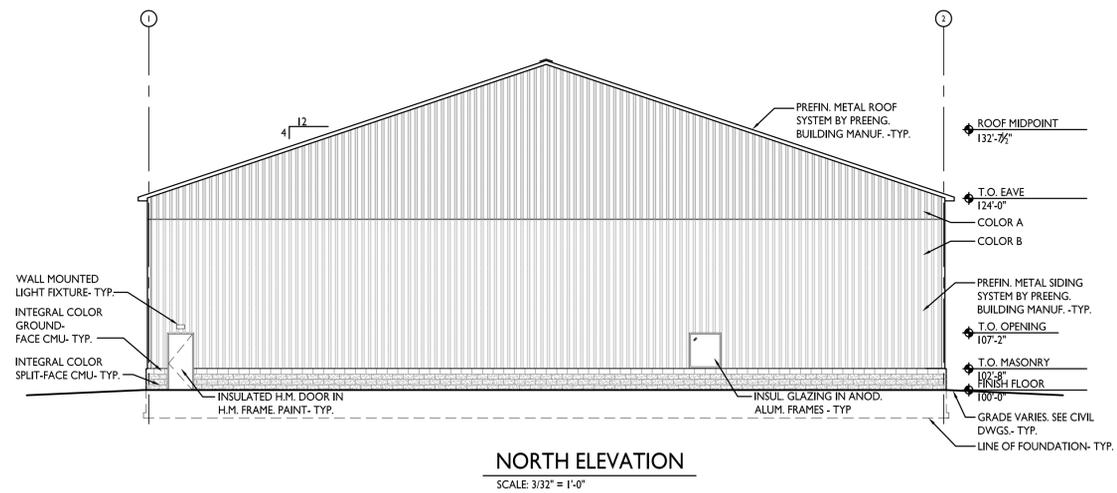
SHEET + NUMBER  
**A1.00**



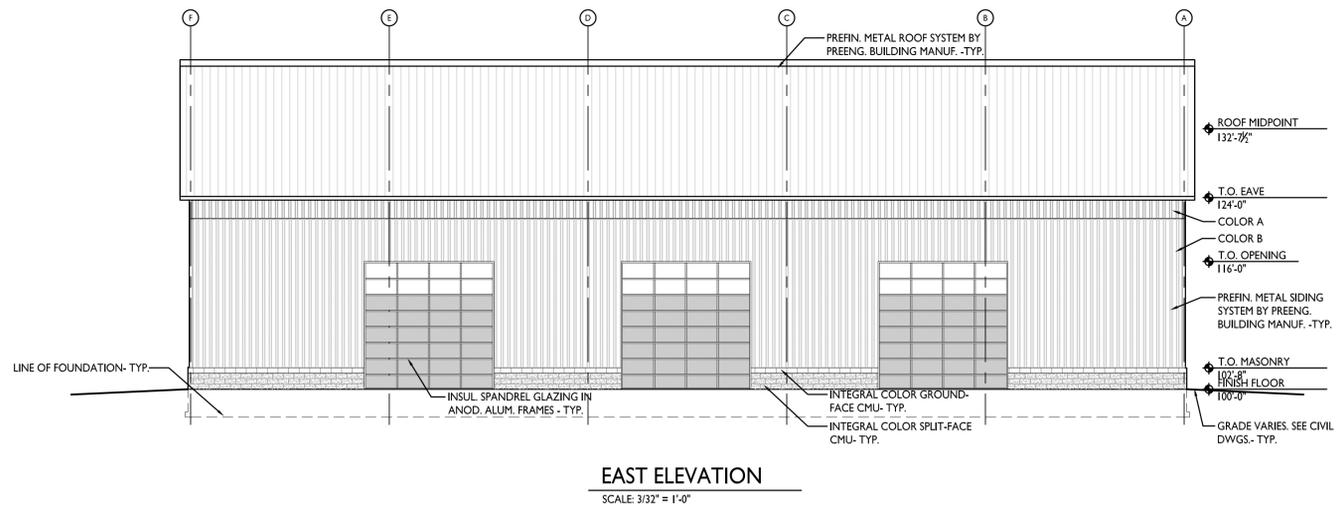
**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



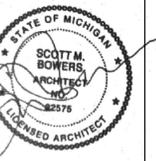
**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



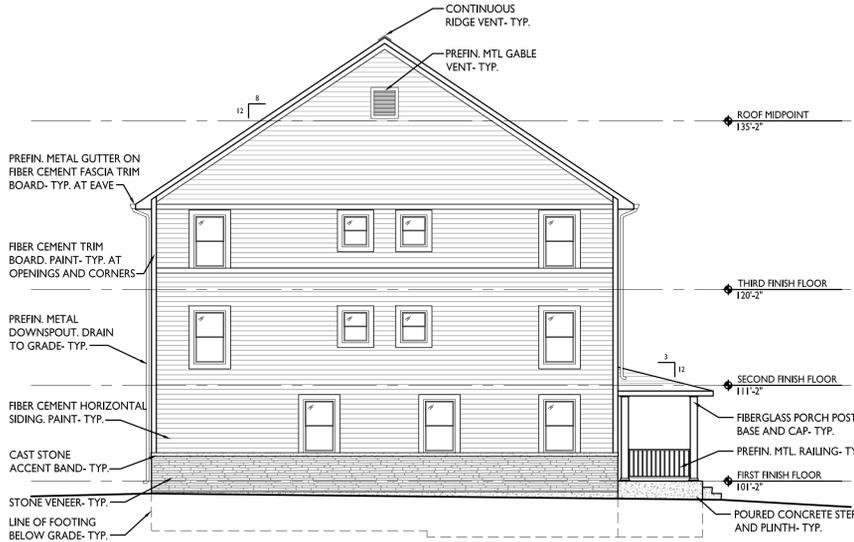
**EAST ELEVATION**  
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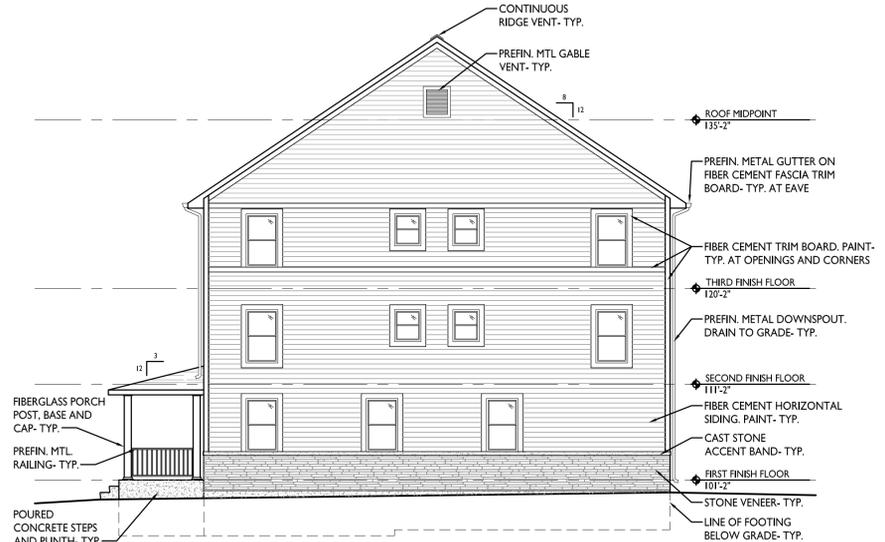




**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"

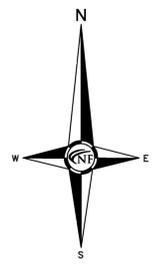
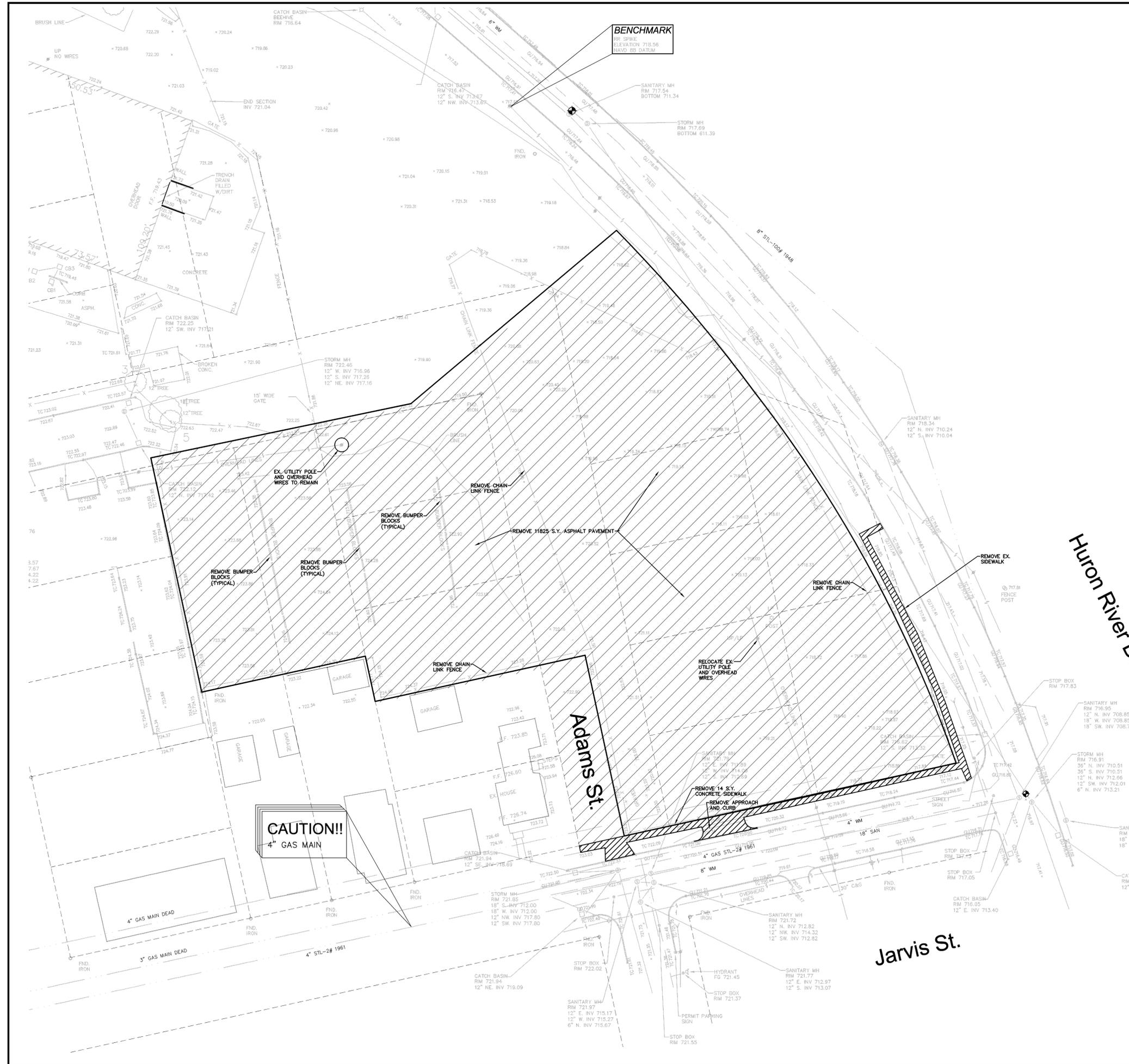


**SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"





E. Cross Street  
Location Map

**DEMOLITION NOTES**

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE, ALL NECESSARY PERMITS AND LIKEWISE SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

\* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHIGAN. REMOVAL OF CONSUMERS ENERGY/MICHIGAN GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHIGAN.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERITECH. REMOVAL OF AMERITECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERITECH.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MOIST CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

**TOPOGRAPHIC SURVEY NOTES**

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

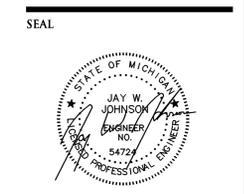
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**LEGEND**

	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED

**CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257



PROJECT  
Lowell & Huron River Dr.

CLIENT  
Bowers and Associates  
2400 South Huron Parkway  
Ann Arbor, MI 48104

Contact: Scott Bowers  
Phone: (734) 975-2400  
Fax: (734) 975-2410

PROJECT LOCATION  
Part of the SW 1/4  
of Section 4  
T.3S., R.7E.  
City of Ypsilanti,  
Washtenaw, Michigan

SHEET  
Demolition Plan



REVISIONS  
00-00-00

DRAWN BY:  
N. Naoum

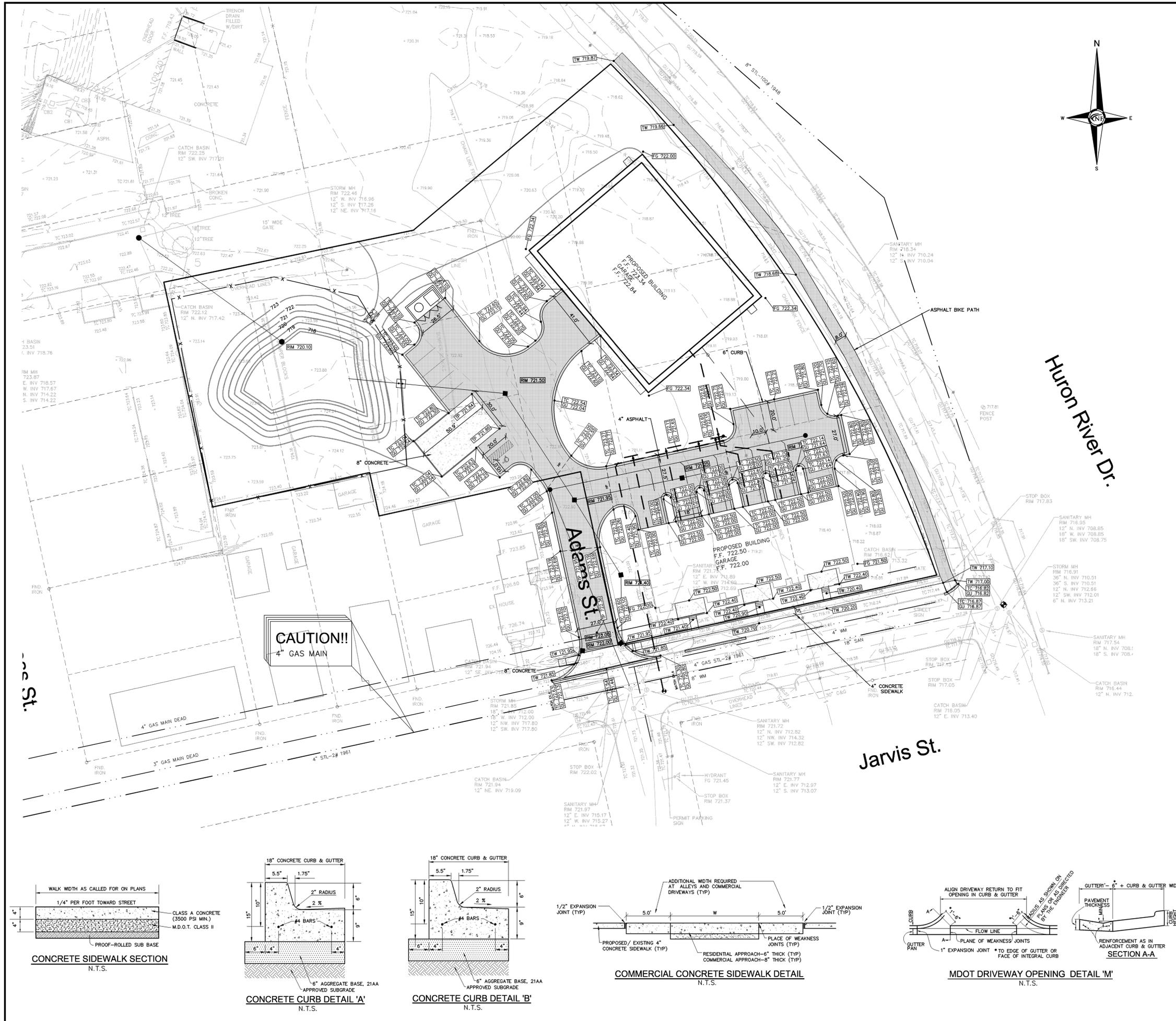
DESIGNED BY:  
M. Peterson

APPROVED BY:  
M. Peterson

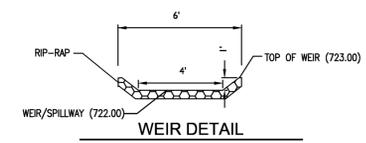
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6-22-2016

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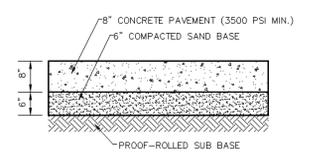
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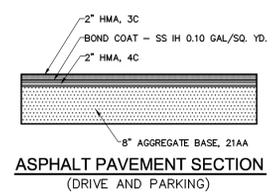
E. Cross Street  
Location Map



WEIR DETAIL  
N.T.S.



CONCRETE PAVEMENT SECTION  
N.T.S.



ASPHALT PAVEMENT SECTION  
(DRIVE AND PARKING)  
N.T.S.

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING WATERMAIN
	MANHOLE CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	C.O. MANHOLE		EXISTING GAS MAIN
	HYDRANT		PR. SANITARY SEWER
	INLET		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	MANHOLE		PROPOSED LIGHT POLE
	MANHOLE		PR. TOP OF CURB ELEVATION
	MANHOLE		PR. GUTTER ELEVATION
	MANHOLE		PR. TOP OF WALK ELEVATION
	MANHOLE		PR. TOP OF P.V.M. ELEVATION
	MANHOLE		FINISH GRADE ELEVATION



REVISIONS  
00-00-00

DRAWN BY:  
**T. Wood**

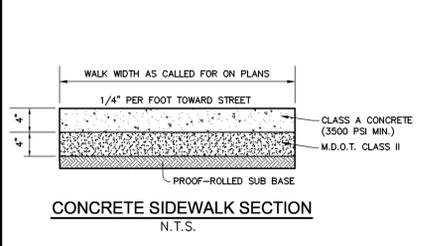
DESIGNED BY:  
**M. Peterson**

APPROVED BY:  
**M. Peterson**

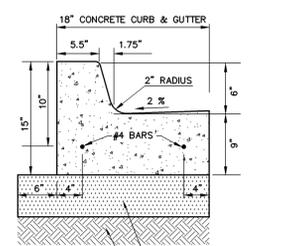
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**6-22-2016**

SCALE: **1" = 30'**

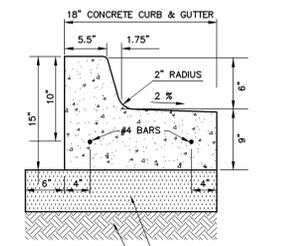
NFE JOB NO. **1807** SHEET NO. **C3**



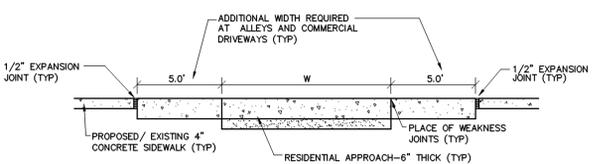
CONCRETE SIDEWALK SECTION  
N.T.S.



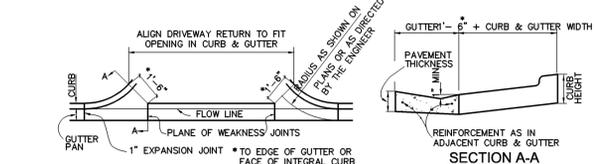
CONCRETE CURB DETAIL 'A'  
N.T.S.



CONCRETE CURB DETAIL 'B'  
N.T.S.



COMMERCIAL CONCRETE SIDEWALK DETAIL  
N.T.S.



MDOT DRIVEWAY OPENING DETAIL 'M'  
N.T.S.



E. Cross Street  
Location Map



**POND VOLUME**

Elevation	Area (S.F.)	Depth (FT.)	Volume (C.F.)	Total Volume (C.F.)
720.10	5638.00	0.10	504.58	11,092.63
720.00	5608.00	1.00	5,031.38	10,588.05
719.00	4476.00	1.00	3,951.36	5,556.67
718.00	3449.00	0.50	1,605.31	1,605.31
717.50	2978.00			

SEAL



PROJECT  
Lowell & Huron River Dr.

CLIENT  
Bowers and Associates  
2400 South Huron Parkway  
Ann Arbor, MI 48104

Contact: Scott Bowers  
Phone: (734) 975-2400  
Fax: (734) 975-2410

PROJECT LOCATION  
Part of the SW 1/4  
of Section 4  
T.3S., R.7E.  
City of Ypsilanti,  
Washtenaw, Michigan

SHEET  
Utility Plan



Know what's below  
Call before you dig.

REVISIONS

00-00-00

DRAWN BY:  
T. Wood

DESIGNED BY:  
M. Peterson

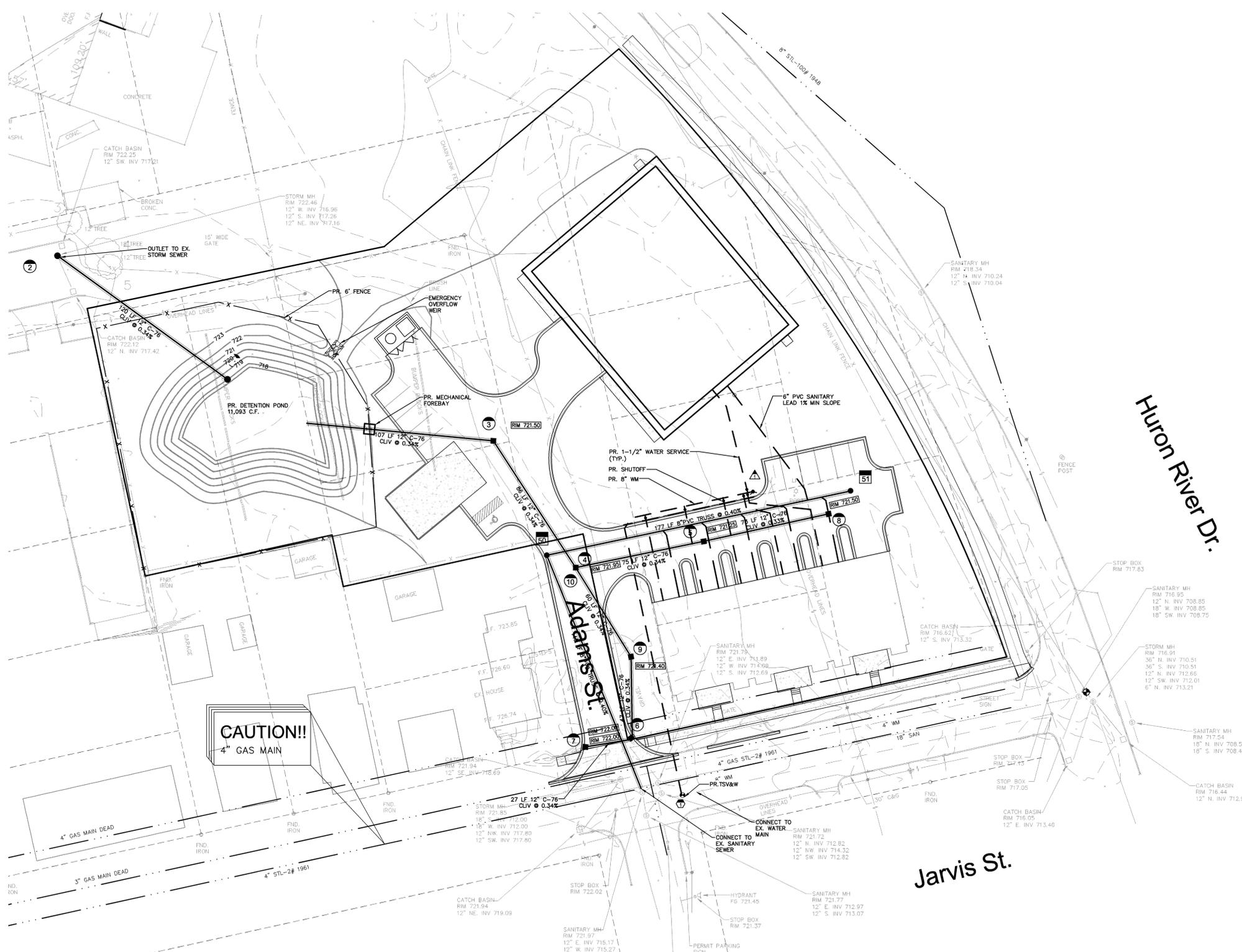
APPROVED BY:  
M. Peterson

DATE:  
6-22-2016

SCALE: 1" = 30'

SHEET NO.  
1807

C4



**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	MANHOLE		EXISTING STORM SEWER
	MANHOLE		EX. R. Y. CATCH BASIN
	UTILITY POLE		EXISTING BURIED CABLES
	GUY POLE		OVERHEAD LINES
	LIGHT POLE		SIGN
	C.O.		EXISTING GAS MAIN
	MANHOLE		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	SAND BACKFILL (95% DENSITY)		
	PROPOSED LIGHT POLE		



**LANDSCAPING GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL RIGHTS OF WAY, EASEMENTS, PROPERTY LINES, AND LIMITS OF WORK, ETC. PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
3. ALL PLANTING BEDS SHALL HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD BARK OVER BLACK, WATER PERMEABLE LANDSCAPE FABRIC.
4. ALL MULTI-STEMMED TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
5. ALL SINGLE TRUNK SHADE TREES TO HAVE STRAIGHT AND SYMMETRICAL CROWNS WITH A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS SHALL NOT BE ACCEPTED.
6. ALL EVERGREEN TREES SHALL BE FULLY TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED IN THE LAST FIVE (5) GROWING SEASONS.
7. IT IS MANDATORY THAT POSITIVE DRAINAGE BE PROVIDED AWAY FROM THE BUILDING, SPECIFICALLY IN THE LAWN AREAS AROUND THE BUILDING.
8. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION AS DESIGNED WITH IT IF OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCE EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
9. ANY DISCREPANCIES BETWEEN DIMENSIONAL LAYOUT AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. FAILURE TO MAKE SUCH DISCREPANCIES KNOW WILL RESULT IN CONTRACTOR'S RESPONSIBILITY AND LIABILITY FOR ANY CHANGES AND ASSOCIATED COST.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS.
11. ALL LAWN AREAS TO BE SODDED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
13. THE PROPOSED VEGETATION SHALL BE MAINTAINED IN A HEALTHY, NEAT, AND ORDERLY APPEARANCE, FREE OF REFUSE AND DEBRIS AND MEET CURRENT STANDARDS. ALL BROKEN, UNHEALTHY, AND DEAD PLANT MATERIALS SHALL BE REPLACED AS SOON AS IS FEASIBLE BY THE OWNER.
14. THE CONTRACTOR SHALL COORDINATE LAWN REPAIR IN CONJUNCTION WITH DEMOLITION WORK BY OTHERS.

**DETENTION BASIN SEED MIX**

\*CONTAINS AT LEAST 12 WILDFLOWERS AND 3 GRASSES

WILDFLOWERS	GRASSES
NEW ENGLAND ASTER	BIG BLUESTEM
PALE INDIAN PLANTAIN	CANADA WILD RYE
BONASET	DARK GREEN BULRUSH
OX EYE SUNFLOWER	INDIAN GRASS
DENSE BLAZINGSTAR	PRAIRIE CORD GRASS
GREAT BLUE LOBELIA	
CARDINAL FLOWER	
BERGAMOT (BEEBALM)	
YELLOW CONEFLOWER	
BLACK-EYED SUSAN	
CUPPLANT	
OHIO GOLDENROD	
BLUE VERVAIN	
CULVER'S ROOT	
IRONWEED	

RECOMMENDED SEEDING RATE: 35 LBS/ ACRE

**GENERAL SOD NOTE**

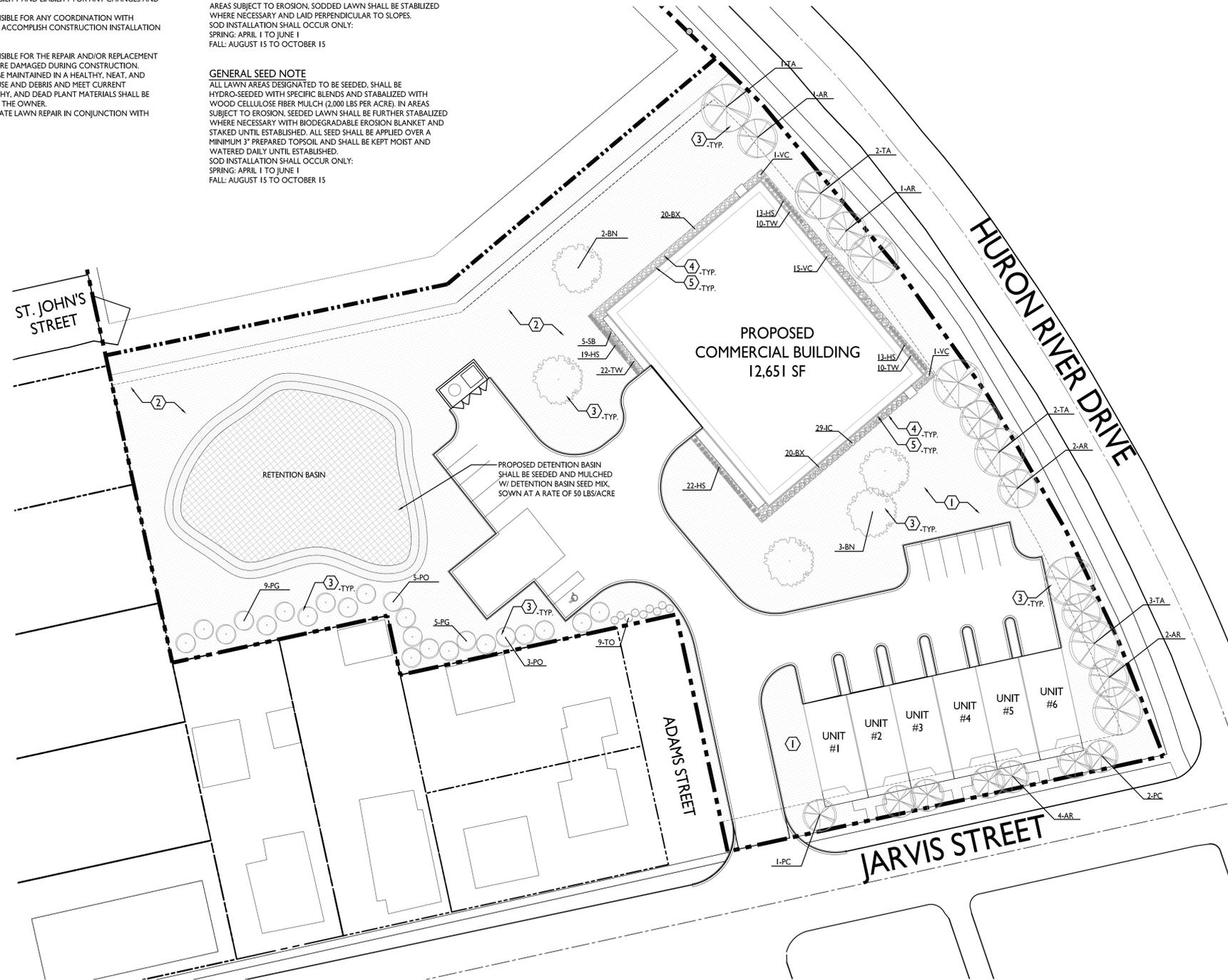
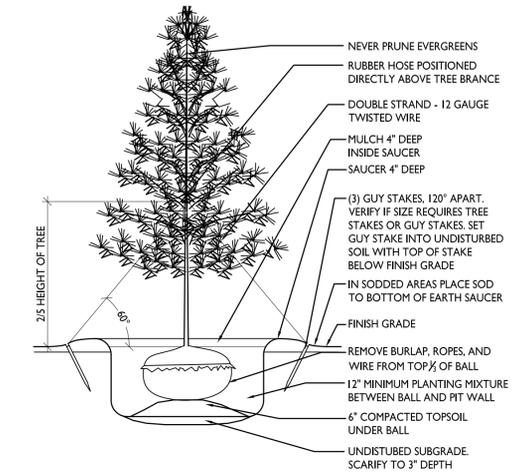
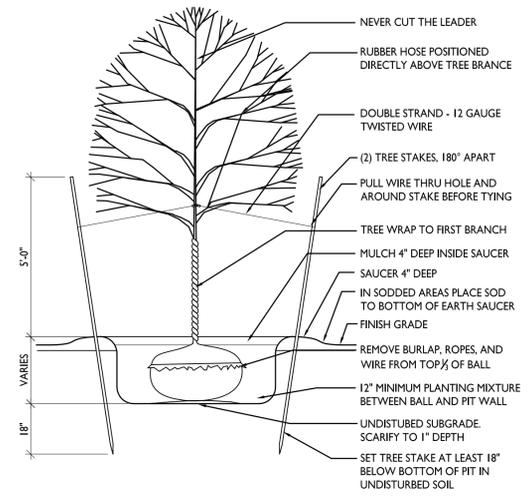
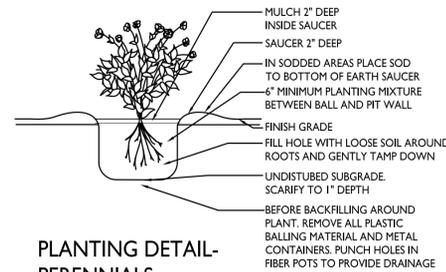
ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOF, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM OF 3" PREPARED TOPSOIL AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL 1 TO JUNE 1 FALL: AUGUST 15 TO OCTOBER 15

**GENERAL SEED NOTE**

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDRO-SEEDED WITH SPECIFIC BLENDS AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE), IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED. SOD INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL 1 TO JUNE 1 FALL: AUGUST 15 TO OCTOBER 15

**GROUND COVER KEY**

- 1 TYPICAL SOD LAWN AREA, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 4" DIA. SPADE CUT EDGE W/ 3" SHREDDED HARDWOOD BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 1/2" - 1" STONE MULCH, 3"-4" DEPTH ON WEED BARRIER



**PLANT SCHEDULE**

KEY	QTY	BOTANICAL/ COMMON NAME	SIZE	SPACING	ROOT	COMMENT
<b>TREES</b>						
AR	10	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
BN	5	BETULA NIGRA RIVER BIRCH	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
PG	14	PICEA GLAUCA 'DENSATA' BLACK HILLS SPRUCE	6' HT	SEE PLAN	B&B	FULLY BRANCHED HEADS
PO	8	PICEA OMORIKA SERBIAN SPRUCE	6' HT	SEE PLAN	B&B	FULLY BRANCHED HEADS
PC	3	PURIS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT PEAR	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
TA	8	TILIA AMERICANA 'BOULEVARD' BOULEVARD LINDEN	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
<b>SHRUBS</b>						
BX	40	BUXUS X M. 'WINTER GEM' WINTER GEM BOXWOOD	30" HT	30" OC	BB&B	MAINTAIN AS HEDGE
SB	10	SPIRAEA X B. 'ANTHONY WATERER' ANTHONY WATERER SPIRAEA	24" HT	30" OC	CONT	
TW	42	TAXUS X M. 'WARDII' WARD'S YEW	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
17	40	THUJA OCCIDENTALIS 'TECHNY' MISSION ARBORVITAE	5' HT	48" OC	B&B	
VC	17	VIBURNUM CARLISII KOREANSPICE VIBURNUM	36" HT	36" OC	B&B	
<b>GROUNDCOVERS/ PERENNIALS</b>						
HS	67	HEMEROCALLIS 'STELL D'ORO' STELLA D'ORO DAYLILLY	2 GAL	24" OC	CONT	
IC	29	IMPERATA CYLINDRICA 'RED BARON' JAPANESE BLOOD GRASS	1 GAL	12" OC	CONT	

**LANDSCAPE REQUIREMENTS**

EXISTING SITE ZONING	GC, GENERAL CORRIDOR
EXISTING SITE AREA	106,404 SF (2.44 ACRES)
<b>GREENBELT</b>	
REQUIRED TREES	1 TREE PER 30 LF OF FRONTAGE HURON RIVER DRIVE: 413.43 LF / 30 LF = 14 TREES JARVIS STREET: 221.40 LF / 30 LF = 7 TREES
SITE LANDSCAPE REQUIREMENTS	
REQUIRED LANDSCAPING	10% OF SITE AS LANDSCAPED 106,404 SF X 10% = 10,640 SF LANDSCAPED
PROVIDED LANDSCAPING	68,852 SF LANDSCAPED
<b>BUILDING FOUNDATION LANDSCAPE</b>	
REQUIRED	6 SHRUBS PER 30 LF, MIN 6' WIDE NORTH AND SOUTH: (100.7 LF / 30 LF) X 6 = 20 SHRUBS REQ'D EA. SIDE EAST AND WEST: (125.7 LF / 30 LF) X 6 = 25 SHRUBS REQ'D EA. SIDE

PRELIMINARY LANDSCAPE PLAN  
SCALE: 1" = 30'

**BOWERS ASSOCIATES**  
ARCHITECTURE & LANDSCAPE ARCHITECTURE  
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104  
P: 734.975.2400 • F: 734.975.2410  
WWW.BOWERSARCH.COM

CONSULTANT + NAME

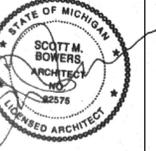
PROJECT + INFORMATION  
**PLANNED UNIT DEVELOPMENT**  
298 JARVIS STREET  
YPSILANTI, MICHIGAN

PROJECT + NUMBER

13-223-01

ISSUE + DATE

15 SEPT 2015	O. REV.
19 OCT 2015	O. REV.
2 NOV 2015	CONTR
10 DEC 2015	
29 JAN 2016	SITE REV
31 MAY 2016	REV.
23 SEPT 2016	PERMIT



SHEET + TITLE  
PRELIMINARY  
LANDSCAPE PLAN

132232100H.dwg

SHEET + NUMBER

L1.00