

1. Historic District Commission Regular Meeting- Updated Notice

Documents:

00-HDC AUGUST 11, 2020 AGENDA.PDF
01-56 E CROSS.PDF
02-412 OAK.PDF
03- ADMIN APPROVALS.PDF
04- HISTORIC DISTRICT 7-28-2020 FULL MINUTES.PDF
HDC AUGUST 11, 2020 FULL PACKET.PDF
PN-AUGUST 11 2020 HDC VIRTUAL MEETING.PDF

CITY OF YPSILANTI
Agenda
Historic District Commission
Tuesday, August 11, 2020 - 7:00 p.m.
Remote Meeting via Zoom

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Alex Pettit, Chair	P	A
Anne Stevenson, Vice Chair	P	A
Erika Lindsay	P	A
Ron Rupert	P	A
Amy Swift	P	A
James Chesnut	P	A
VACANT		

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING—none

V. BUSINESS SESSION

A. OLD BUSINESS—none

B. NEW BUSINESS

1. **56 E Cross** **Fence/mural/awning**
2. **412 Oak** **New detached garage**

C. STUDY ITEMS—none

D. ADMINISTRATIVE APPROVALS

1. **501 N River** **Roof and paint**
2. **123 N Adams** **Roof**
3. **100 W Michigan** **Paint**

E. OTHER BUSINESS

1. **Property monitoring**
2. **Commissioner comments**

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

1. **Approval of meeting minutes July 28, 2020**

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



HDC Work Permit Staff Review

Property address: 56 E Cross

Property History: The project is concerning a parking lot behind 56 E Cross, a contributing building to the historic district. Historically, this area housed a coal shed for O. E. Thompson & Sons, and later the shed was replaced by series of five coal silos. It has been a parking lot since the mid-twentieth century.

Date of Application: July 22, 2020

Date of Review: August 6, 2020

Date of Meeting: August 11, 2020

Proposed work: New fence, mural, possible sun sail awnings.

Materials: Wood fencing, metal poles, and paint.

Staff review:

1. Typically, rear fence applications can be approved administratively, however staff felt this application was more detailed than a standard fence and felt it appropriate for the Commission to review.
2. The applicant has installed a 6' tall dog-eared wood fence to ensure privacy between temporary outdoor dining and the neighboring property.
3. The fence will be painted with a mural- two possible options are pictured.
4. The applicant has installed tall metal poles to the fence from which to hang sun sails.
 - a. Staff requested a cut sheet of the sun sails, and the applicant said they are not sure if they can hem them to the size they want and may choose to string patio lights from the poles instead. No cut sheet was provided.
 - b. The poles are taller than 6' and a bare metal surface that stands out next to the wood fence.
 - c. Staff recommend considering painting the poles so they blend in, or removing them altogether.

Recommended Motions:

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

Move to approve and issue a Certificate of Appropriateness for the work 56 E Forest for installation of a dog-eared fence as specified. The fence shall be painted with a mural. The metal poles attached to the fence shall also be painted and may be used to mount sun sails.

Relevant Secretary of the Interior's Standards:
#9, #10

Prepared by:
Scott E. Slagor, Preservation Planner



City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY
Date Filed: 7/22/2020
Meeting Date:
Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address	56 E. CROSS
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Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name			LINDA FRENCH
Address			[REDACTED]
City			Ypsilanti
State		MI	
Zip		48197	
Phone / Fax		E-Mail	
[REDACTED]		[REDACTED]	

Contractor

Contractor Name & Contact Info

Type of work

- | | | |
|--|--|---|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> <u>Application Amendment</u> |

Complete Description of Proposed Work:

WOODEN FENCE approx. 10 ft.

To fence is to BLOCK the house between our parking lots. BECAUSE OF THE VIRUS, WE HAVE TABLE SEATING IN OUR BACK LOT. THE WEEDS, RATS + food PANTRY ARE being blocked by the fence.

Materials (for paint include color chips or samples with application):

WOOD We will be painting ART on fence next week. We have hired GARY HORTON TO PAINT A MURAL

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

0.00

Permit fee:

\$45 + 45.00 =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Sig

[Redacted Signature]

Date:

7-18-20

Print Name:

LINDA FRENCH

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

PH DC-20-0046
56 E CROSS

Lindsay Shaner

From: Linda French [REDACTED]
Sent: Wednesday, July 22, 2020 3:52 PM
To: Lindsay Shaner
Subject: Sidetrack

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The fence is 6 ft by 40 ft



Sent from my iPhone

Mural options for fence at 56 E Cross







HDC Work Permit Staff Review

Property address: 412 Oak

Property History: The property includes a Gabled-ell vernacular house, erected in 1890. The 400 block of Oak was not included in the National Register listing, however the house retains historic integrity and Staff interprets it is contributing to the local historic district.

Date of Application: August 4, 2020

Date of Review: August 5, 2020

Date of Meeting: August 11, 2020

Proposed work: Construction of a new detached garage.

Materials: Concrete; fiber-cement siding, asphalt shingles, aluminum-clad windows and metal doors.

Staff review:

1. This project was presented to the Commission as a Study Item on September 10, 2019.
2. Applicant proposes moving or removing a non-historic shed behind the house and constructing a detached garage.
3. The garage will measure 16' wide by 32' long, and 15'8" tall from ground to roof peak.
4. The foundation will be parged concrete.
5. The exterior walls will be clad in Hardi-plank fiber-cement siding, with a smooth finish.
6. The roof will be sheathed in Certainteed Landmark shingles in "Shadow Ridge Weathered Wood."
 - a. Roof ventilation will be achieved through soffit vents.
7. The garage door will be a HAAS 680 series raised panel with a string of clear windows on the top panel.
8. A pair of 6 panel pedestrian doors will be installed on the east elevation.
9. Two double-hung Andersen aluminum-clad E-series windows will be installed on the east elevation.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

10. In staff opinion, the proposed new building sufficiently meets the HDC Design Criteria (see below, applicable Criteria **bolded**).

Recommended Motions:

Move to approve and issue a Certificate of Appropriateness for the work at 412 Oak as submitted in the application dated August 4, 2020 for construction of a detached garage. The new garage shall match the dimensions and material specifications in the drawings submitted with the application. The fiber-cement siding shall have a smooth finish. The exterior walls and trim shall be painted to match the house.

Relevant Secretary of the Interior's Standards:
#9, #10

Prepared by:
Scott E. Slagor, Preservation Planner

Sec. 54-82. Design criteria.

The historic district commission shall be further guided by the following design criteria:

- 1) The proposed height should be within ten percent of the average height of the existing adjacent historic resources.
- 2) The proposed setback should not be more than five percent in front of or behind the existing setback of adjacent historic resources.
- 3) The relationship of the height to the width of the front facade should be consistent with the pattern established by existing adjacent historic resources.**
- 4) The relationship of the height to the width of windows, doors and other openings should be consistent with the pattern established by existing adjacent historic resources.
- 5) The rhythm of structural mass to voids (openings) across the front facade should be consistent with the pattern established by existing adjacent historic resources.
- 6) The rhythm of structural mass to open space between structures should be consistent with the pattern established by existing adjacent historic resources.
- 7) The rhythm created by the placement of sidewalks, entrances, steps, porches and canopies should be consistent with the pattern established by existing adjacent historic resources.
- 8) The proposed construction materials should be the same type as those that have already been heavily used in existing adjacent historic resources.**
- 9) The proposed textures of the building materials should relate to and complement the predominant textures of the materials used in existing adjacent historic resources.**

10) The proposed colors, whether of natural materials, such as brick and stone, or applied colors, such as paint and pre colored siding, should relate to and complement the colors used on existing adjacent historic resources.

11) No specific architectural style shall be required for the construction of a new building, addition or other structure. The proposed architectural details, including, but not limited to, cornices, lintels, arches, balustrades, chimneys, porches, bays, railings, cupolas, gable ends, brackets and iron work, should be appropriate for the style of the structure on which they are to be used and compatible with other structures in the historic district and particularly to historic resources and sites to which they may be visually related.

12) The proposed roof shape and profile should relate to the predominant styles of existing adjacent historic resources.

13) The proposed landscape designs and choices of plant material should be appropriate to the character of the historic district and that of the involved historic resources.

14) The proposed paving (i.e., brick, block, concrete, slate, etc.) should be of the same types as those already heavily used around existing adjacent historic resources.

15) The proposed design shall not conflict with the building code as it relates to the welfare or safety of the occupants.

(Code 1983, § 5.333; Ord. No. 1001, 3-1-2005)



RECEIVED
AUG 04 2020
CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

R.27202
V189
PHDC-20-0051

OFFICE USE ONLY
Date Filed:
Meeting Date:
Action Item/Study Item

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address 412 OAK ST.

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name GARY TURNER		
Address [REDACTED]		
City YPSI	State MI	Zip 48198
Phone / Fax [REDACTED]	E-Mail [REDACTED]	
Contractor Name & Contact Info COMMUNITY BUILDER LC [REDACTED]		

Type of work

- | | | |
|--|--|--|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input checked="" type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

BUILD 16'-0" x 32'-0" DETACHED
GARAGE, MATCH FINISHES
OF EXISTG. HOUSE

Materials (for paint include color chips or samples with application):

SEE PLANS / SPEC

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

30K

Permit fee:

\$45 + _____ = 90

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

[Redacted Signature]

Date:

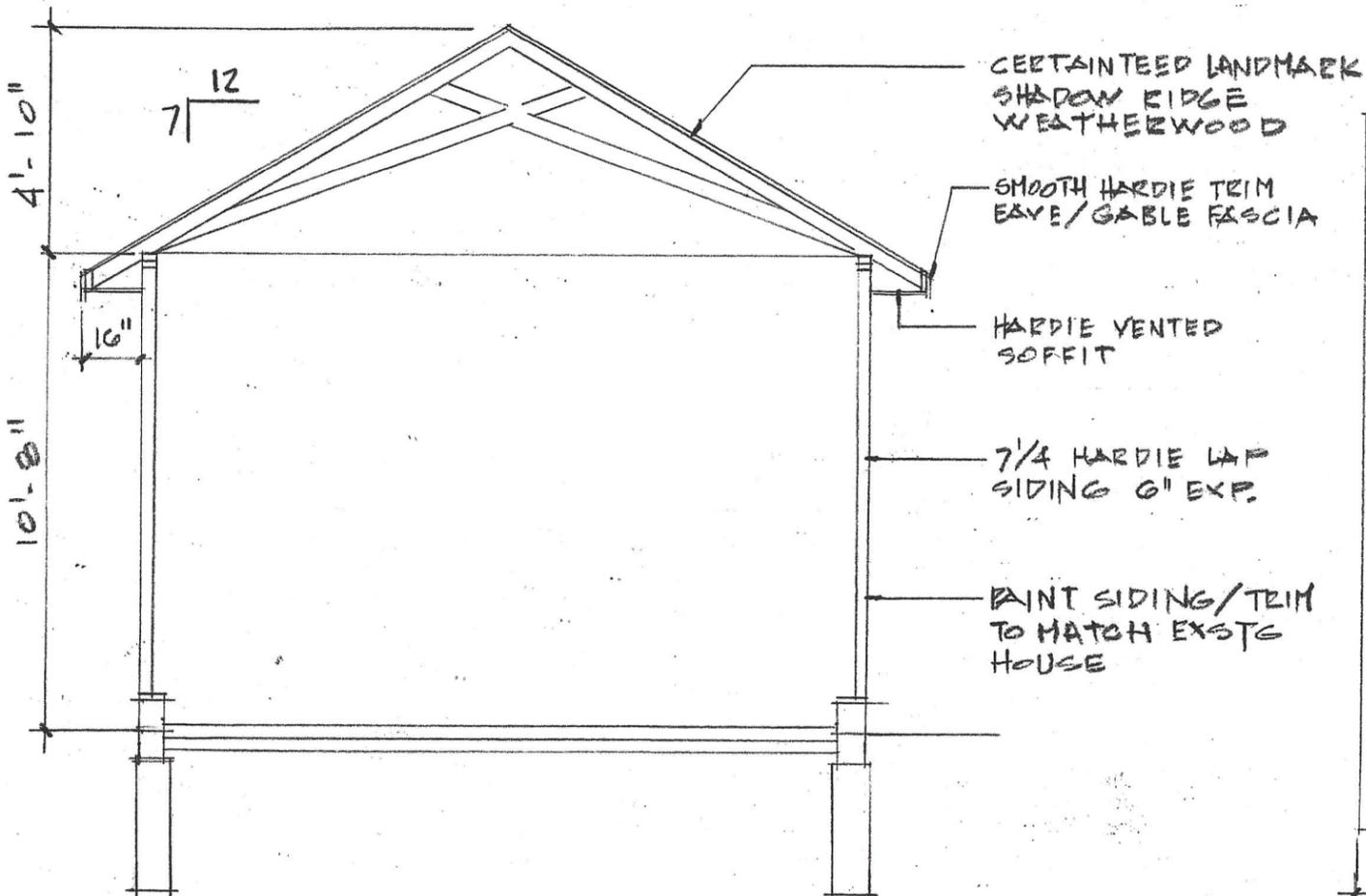
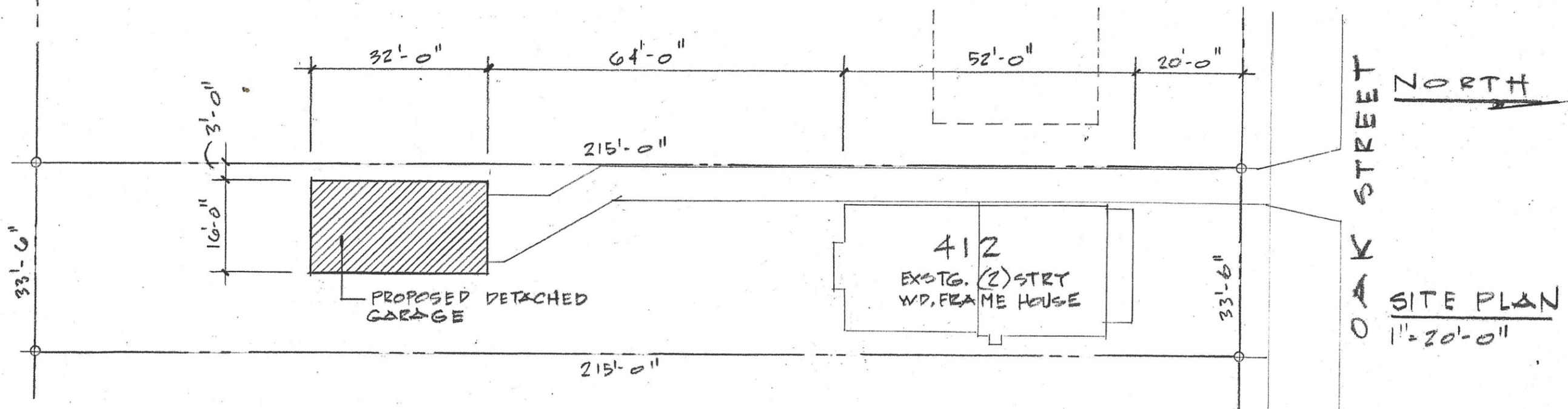
8/4/20

Print Name:

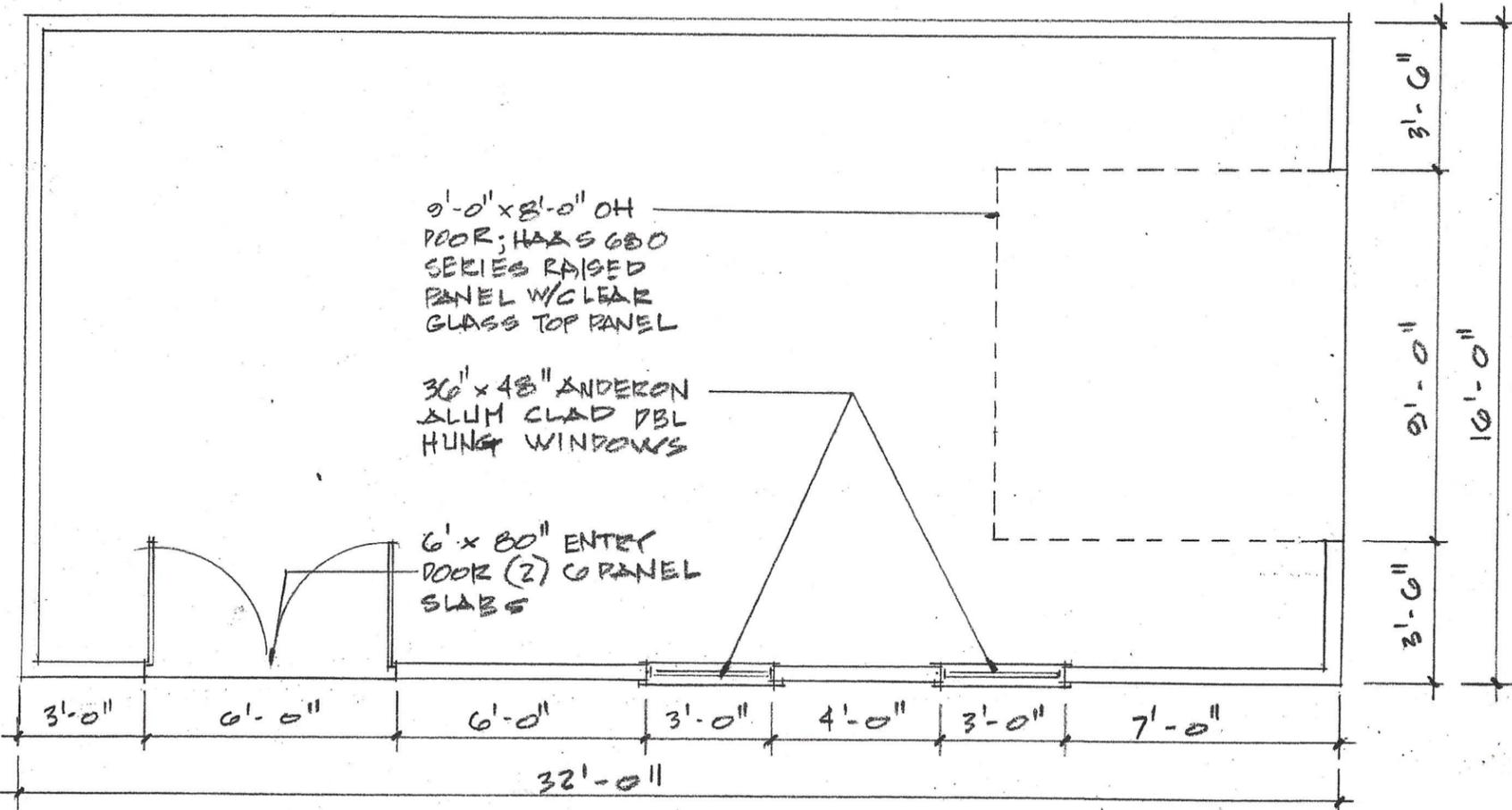
GARY D. TURNER

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

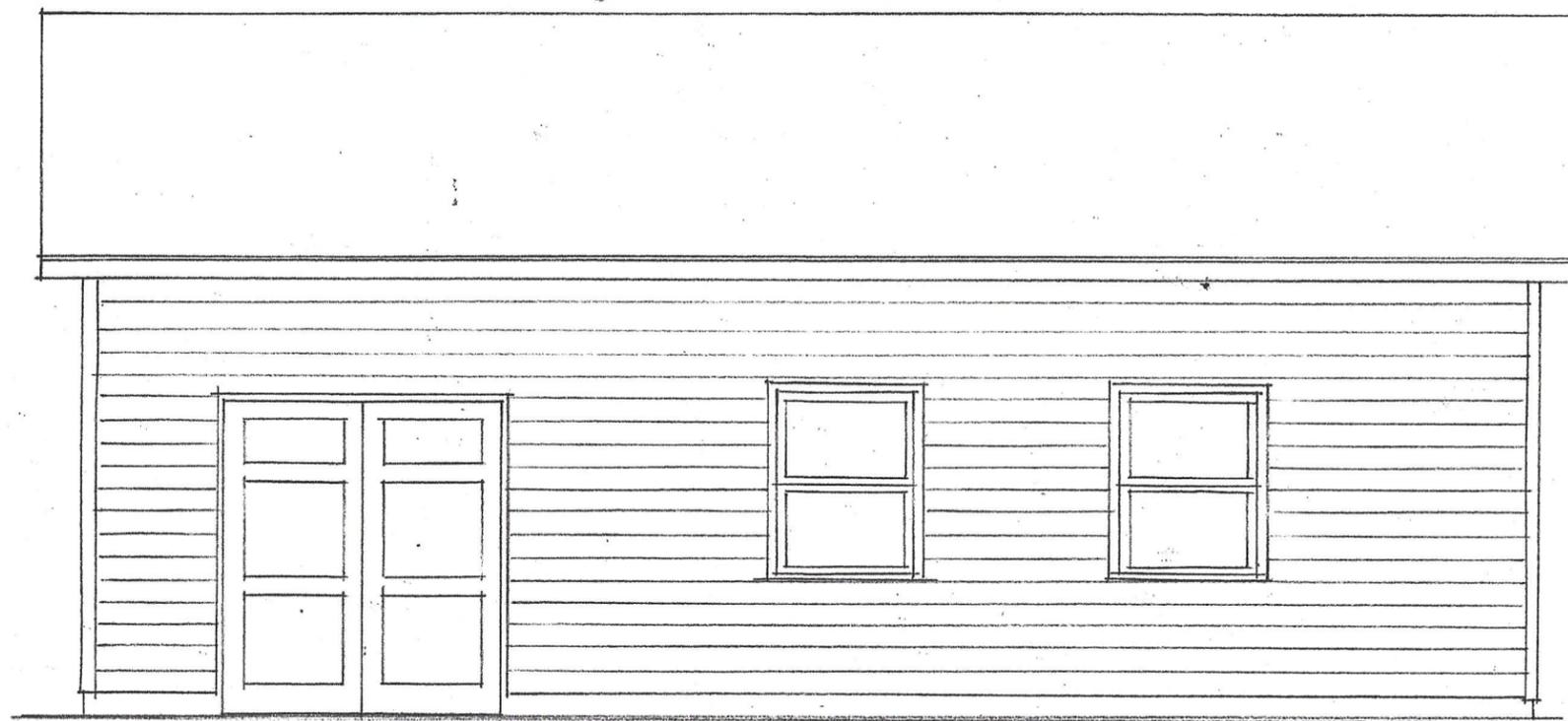


SECTION
1/4" = 1'-0"



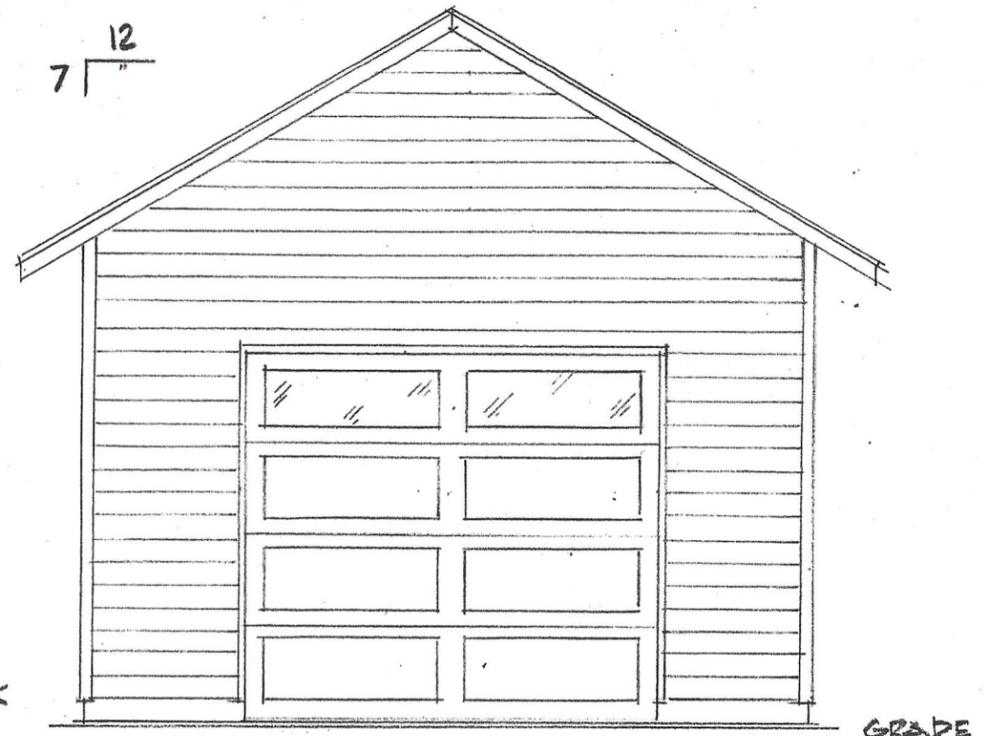
FLOOR PLAN
1/4" = 1'-0"

GRAM RESIDENCE DETACHED GARAGE 412 OAK ST. YPSILANTI, MI 48198	COMMUNITY BUILDERS LC 412 MAPLE ST. YPSILANTI, MI 48198 (734) 216-6575	SHEET 1 OF 2 SCALE AS NOTED
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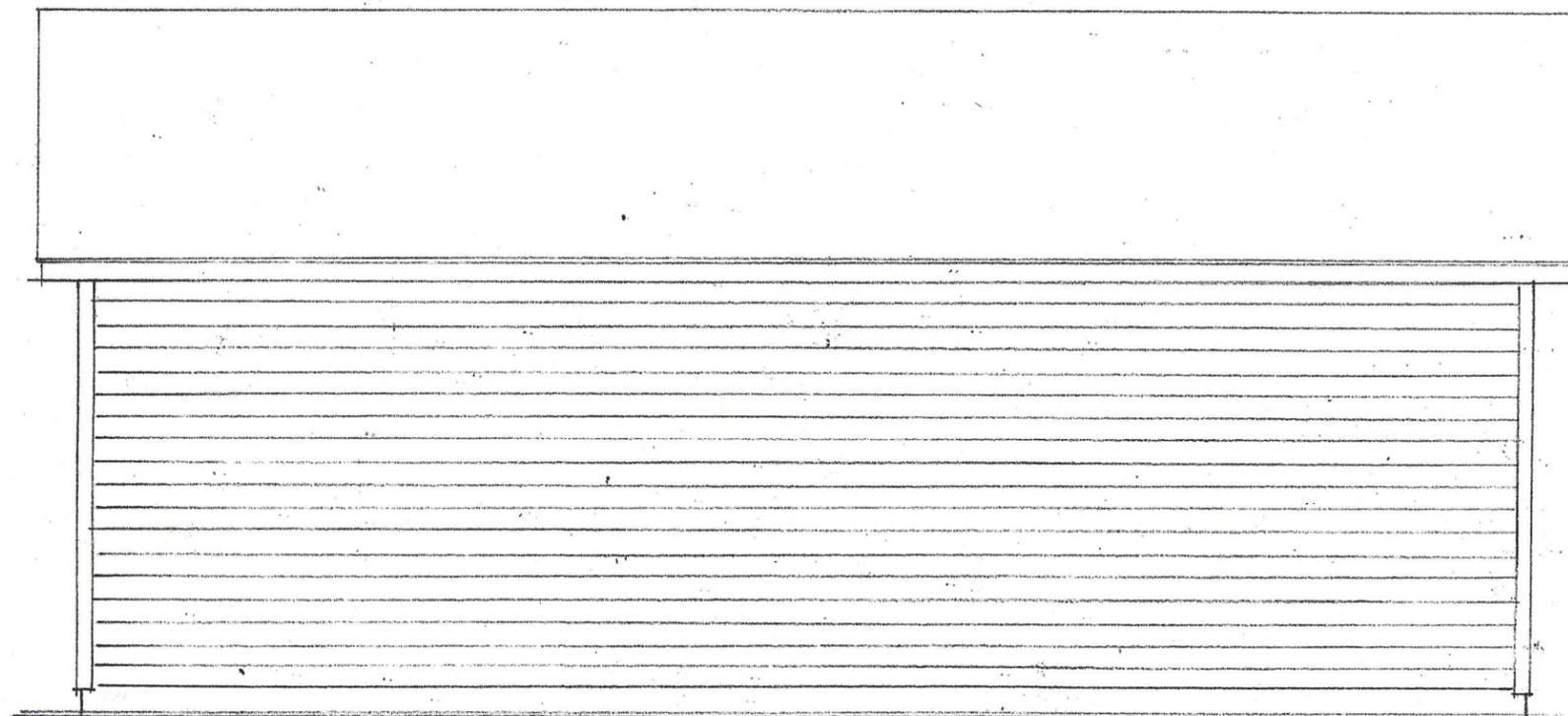
EAST ELEVATION

T.O. RIDGE
 4'-10"
 TOP PLATE
 10'-0"
 8" Tp. BLOCK

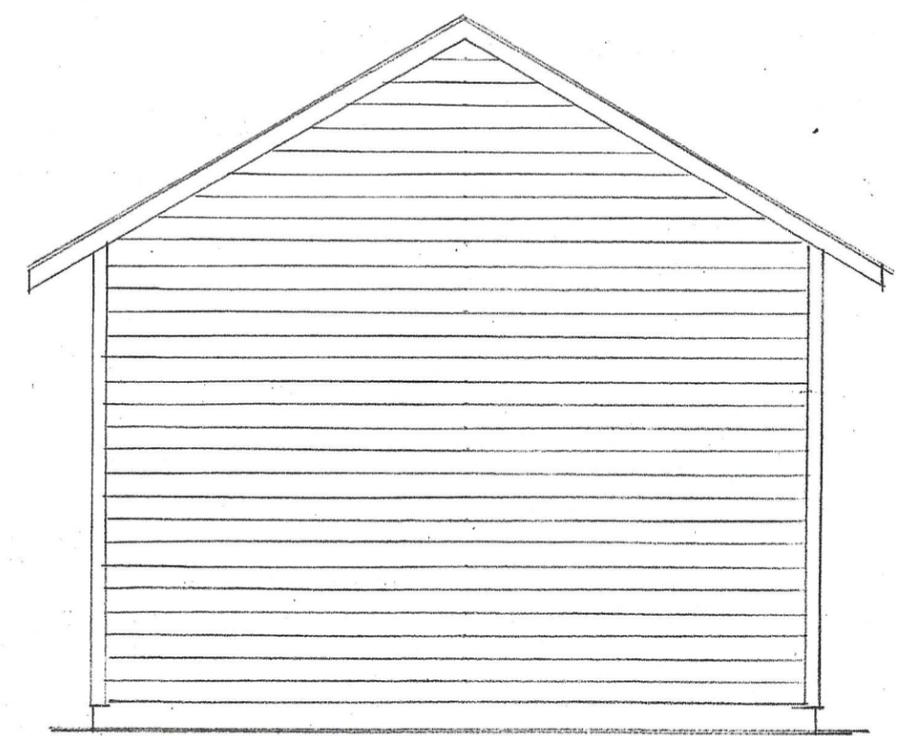


NORTH ELEVATION

GRADE



WEST ELEVATION



SOUTH ELEVATION

GRAMS RESIDENCE DETACHED GARAGE 412 OAK ST. YPSILANTI, MI 48198	COMMUNITY BUILDERS LC 412 MAPLE ST. YPSILANTI, MI 48198 gary@garybuilds.com	SHEET 2 OF 2
		SCALE 1/4" = 1'-0"



SHADOW RIDGE®

[OVERVIEW](#)

[TECHNICAL INFO](#)

[INSTALLATION](#)

[WARRANTY](#)

[FIND A PRO](#)

Shadow Ridge® Hip and Ridge Accessory Shingles are designed specifically for use with Landmark® TL and Landmark® Series shingles and are used to finish the hips and ridges of your roof. Shadow Ridge meets the hip and ridge accessory requirements for the CertainTeed Integrity Roof System® which is comprised of underlayments, shingles, accessory products and ventilation all working together. The Integrity Roof System is designed to provide optimum performance--no matter how bad the weather conditions are.

PRODUCT OVERVIEW

- [Integrity Roof System Brochure](#)
- [Accessory Brochure](#)

TECHNICAL SPECS

- [FL-5444 - Asphalt Roofing Shingles](#)
- [ICC-ES ESR-3537](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)

([More Info](#))

INSTALLATION

- [Landmark Installation Instructions](#)

[\(More Info\)](#)

WARRANTY

- [Asphalt Shingle Limited Warranty](#)

[\(More Info\)](#)



Sweets ProductTAG

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[PRESERVING](#)

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[RANCH HISTORIC](#)

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[REROOF](#)

TECHNICAL INFORMATION

Shadow Ridge® shingles are composed of a fiber glass mat base. Ceramic coated mineral granules are tightly embedded in specially refined, water-resistant asphalt. Size and color availability varies by region. The "English" version is a three-piece shingle that must be separated into individual pieces, each 12" x 12", by folding along the perforated lines. The "Metric" version is a four-piece shingle that must be separated into individual pieces, each 13 1/4" x 9 27/32", by folding along the perforated lines.

ENGLISH

- Dimensions (overall): 12" x 36"
- 5" exposure
- Covers 30 linear feet/bundle

METRIC

- Dimensions (overall): 13 1/4" x 39 3/8"
- 5 5/8" exposure
- Covers 45 linear feet/bundle
- Weight: 80 lbs./bundle

Miami-Dade Product Control Acceptance: Please see the notice of Acceptance (NOA) to determine approved products by manufacturing location.

SPECS

- [FL-5444 - Asphalt Roofing Shingles](#)
- [ICC-ES ESR-3537](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)
- [Data Sheet - Shadow Ridge](#)
- [Miami-Dade NOA - Shadow Ridge](#)
- [Shadow Ridge UL USA Compliance](#)
- [ICC-ES-ESR-1389](#)

INSTALLATION

Shadow Ridge® Hip and Ridge Accessory Shingles are designed specifically for use with Landmark® TL and Landmark® Series shingles. Applying a roof system correctly is essential to the warranty and performance of the roof. Please refer to the installation instructions for complete details. Available in both English and Spanish.

INSTALLATION

- [Landmark Installation Instructions](#)

WARRANTY DETAILS

This product has a limited warranty against manufacturing defects concurrent with the warranty of the field shingle with which it is installed. See CertainTeed's Asphalt Shingle Products Limited Warranty for specific details.

WARRANTY

- [Asphalt Shingle Limited Warranty](#)

EXPORT INFORMATION

Shadow Ridge® asphalt roofing shingles are available for Export. Please review the related brochures for additional information.



For Homeowners

For Businesses

For Architects

For Haas Door Dealers

« Make a Statement. »

610 in Brown

INSULATED STEEL 600 SERIES

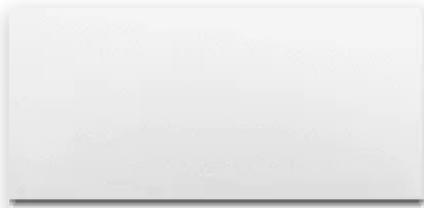
The 600 Series combines the look of deep embossed wood grain with the

strength and durability of heavy gauge galvanized steel to provide years of virtually maintenance free use. No worries about warping, cracking or rotting. Backed by a Limited Lifetime Warranty, the Insulated Steel 600 Series is ideal for all climates. It's the easy way to add beauty and value to your home.

- 1-3/8" Thick with Full Thermal Break
- 13.45 Calculated R-Value
- CFC-Free Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Available with Wind Load
- 21 Color Options
- 9 Panel Options
- 15 Residential Models
- 47 Window Options
- Available with **Decorative Glass**
- Available with **SelectView Options**
- Industry Leading Warranty
- Lifetime Rust & Delamination
- 10-Year Wood Grain Finish
- 6-Year Hardware
- 3-Year Spring

CREATE YOUR

600 SERIES MODELS



Flush Panel

610 - All Windows

All colors except Bi-Directional wood grains



V-Groove Panel

612 - TL Windows

All colors except Bi-Directional wood grains



Ribbed Short Panel

660 - Carriage House Windows

672 - Ranch Windows

682 - Standard Windows

All colors



Recessed Short Panel

661 - Carriage House Windows

671 - Ranch Windows

681 - Standard Windows

All colors



Ribbed Long Panel

664 - Carriage House Windows

674 - Ranch Windows

All colors



Recessed Long Panel

663 - Carriage House Windows

673 - Ranch Windows

All colors

(not available in 24" sections)



Raised Ranch Panel

670 - Ranch Windows
All colors



Raised Standard Panel

680 - Standard Windows
All colors



Sculptured Raised Panel

690 - Standard Windows
All colors

WOOD GRAIN COLORS

The pre-painted wood grain finish is baked on to ensure a durable and long lasting door. Steel wood grain colors feature a **10 year finish warranty**. [Learn more.](#)

BI-DIRECTIONAL WOOD GRAINS

A vertical wood grain pattern on the panel and stile contrasting with a horizontal pattern on the rails creates the appearance of a real wood door. Bi-directionals feature a light stucco embossment.

Ash

English Oak

American Walnut

Mahogany

UNI-DIRECTIONAL WOOD GRAINS

These authentic colors feature a woodgrain pattern that runs horizontally to complement any of our insulated steel models. Uni-directionals feature a wood grain embossment.

PREMIUM COLORS

Trinar® White

Trinar® Beige

Trinar® Brown

Carbon Black

STANDARD COLORS

Almond

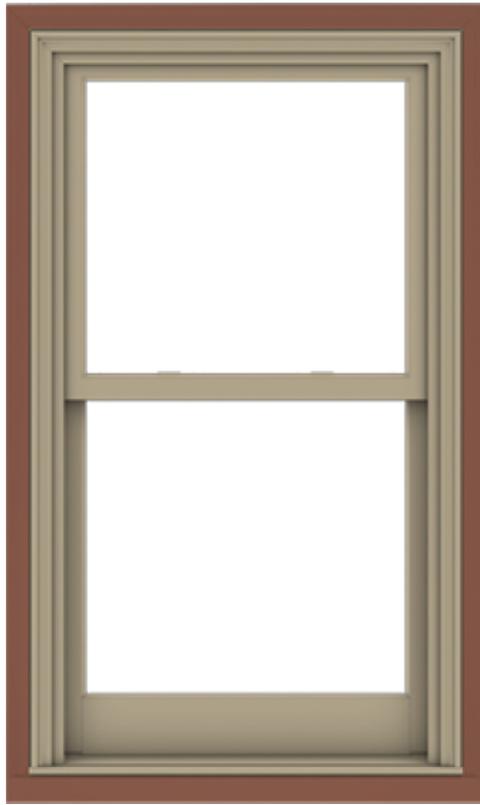
Polar White

Sandstone

Sahara Tan

Gray

Bronze



Interior Exterior

E-SERIES

DOUBLE-HUNG WINDOW

★★★★★ 5.0 (2)

E-Series double-hung windows have two operating sash that move up and down allowing for ventilation on the top, bottom or both. The sash tilt in for easy cleaning from the inside of your home. Made of wood protected by an aluminum exterior, it's our fully customizable double-hung window.

- Custom colors, interior woods and stains
- Wood protected by aluminum exterior
- Standard sizes up to 4' wide and 7'6" high. Custom sizes available.

DESIGN THIS WINDOW

Feedback



Facing southeast to facade and west elevation of the house (for reference).



Facing northeast to shed.



July 31, 2020

GOLDSTEIN, DAWN


CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0048) for Re-roofing and Re-painting at 501 N RIVER

Dear GOLDSTEIN, DAWN,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to reroof and repaint the house has been **approved**. Specifically, approved reroofing work includes: removing the existing decking, installing an ice guard, roofing paper, a white drip edge and flashing, ridge vent, and CertanTeed Satin-Bogain, Brand Manor shingles in "Weathered Wood." Approved painting work includes in-kind repairs of exterior wood components and repainting the house in "Dove White" and the porch deck in grey.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.

6 **Getter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7 **Torches are not to be used at any time during installation.**

The following Historic District conditions must be followed in all painting projects:

1. **The exterior surfaces shall be prepared in the gentlest means possible; no pressure washing or sandblasting.** Hand-scraping and sanding is allowed. If the building is to be washed, no greater pressure than that of a garden hose should be used.
2. **Historic unpainted surfaces shall not be painted.** Natural unpainted brick, stone, or wood shall not be painted.

The following Secretary of Interior Standards were considered in approving your application:

- # – Preserve distinctive features.
- # – Clean the building gently, no sandblasting or pressure washing
- #0 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing, repainting, and repairs only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (34) 483-946 **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,


Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner 
He
Building Department

R.27146 #206
PHDC-20-0048



RECEIVED
JUL 27 2020

CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY	
Date Filed:	
Meeting Date:	
Action Item/Study Item	

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address
501 N. River Street, Ypsilanti, MI 48198

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name		
Dawn M. Goldstein		
Address		
[REDACTED]		
City	State	Zip
Ypsilanti	MI	48198
Phone / Fax	E-Mail	
[REDACTED]	[REDACTED]	

Contractor

Contractor Name & Contact Info
self

Type of work

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input checked="" type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

Roofing:

Complete roof tear off down to the existing OSB roof decking. Ice guard and roofing paper will be installed to code. All drip edge and flashing will be white in color. Ridge Vent will be used. The shingle will be light grey in color to match the existing, current roof. New roofing material will be an asphalt algae resistant 40-year architectural shingle in Weathered Wood (CertainTeed Saint-Bogain, Grand Manor).

Exterior Paint:

Completely pain the exterior of the house to include siding, trim, widndows, porches, exterior doors. all will be painted with Benjamin Moore Soft Gloss Finish 100% Acrylic Premium Exterior Latex Paint. The color will be Dove White to match for all elements to match the current, existing color. Will repair or replace severely damaged or rotten wood as necessary with like-kind material and same wood species. The siding will be hand scraped and sanded. A first coat of Sherwinn Williams Exterior oil-based, slow dry primer for wood will be applied by brush. Exterior latex caulk will be used only where appropriate, and two coats of exterior latex Benjamin Moore paint will be used to finish. Porch decks will be the same type of primer and paint process, but the color will be Porch Deck Grey (to match existing color).

Materials (for paint include color chips or samples with application):

Roofing: CertainTeed Saint-Gobain, Grand Manor (algae resistant shingles) Weathered Wood (color)

Exterior Paint: Benjamin Moore Soft Gloss Exterior Latex - Dove White and Porch Deck Grey
Primer - Sherwinn Williams Slow Dry Oil Primer for Wood

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

6,000.00

Permit fee:

\$45 + 5 = 50.00

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

7/27/2020

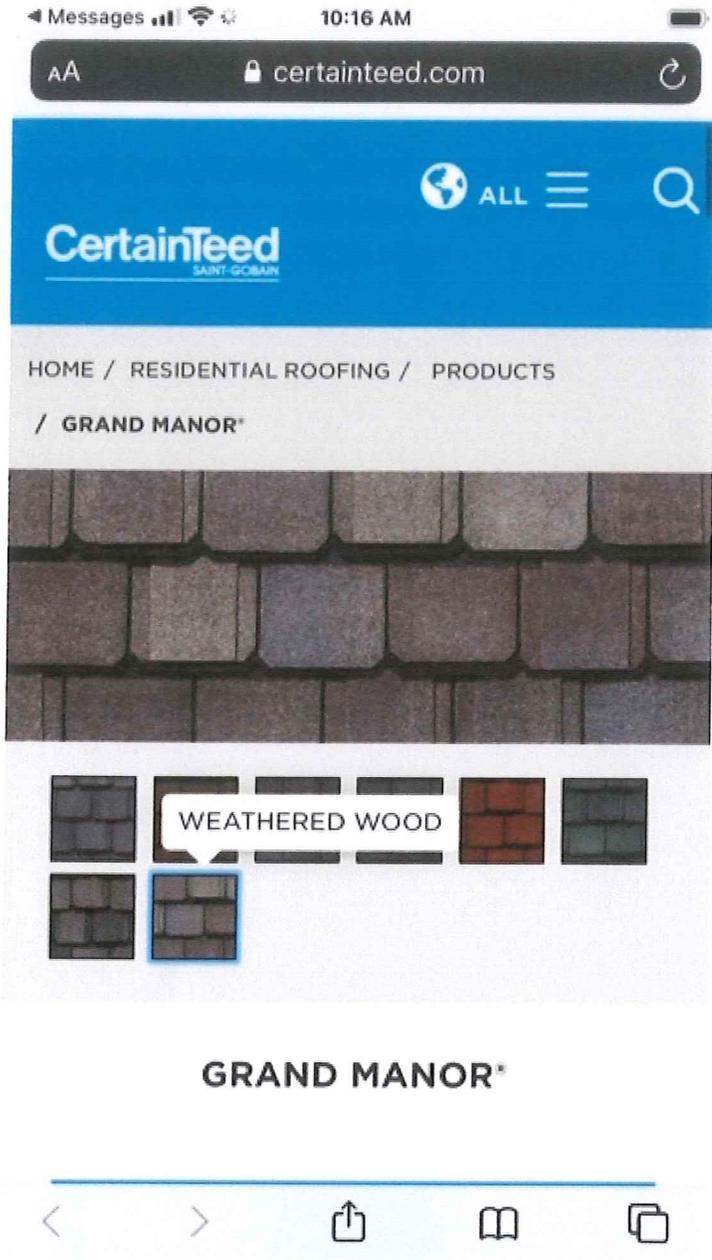
Print Name:

Dawn M. Goldstein

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

PHD-20-0048



White Dove
OC-17



GOES WITH



SHADES



SIMILAR

White Dove











City of Ypsilanti

Community and Economic Development

July 31, 2020

ROOF ADVANCE
3748 CARPENTER RD
YPSILANTI, MI 48197

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0050) for Re-roofing at 123 N ADAMS

Dear ROOF ADVANCE,

Staff has reviewed the Historic District Work Permit Application for the above-named address. Your application to redeck the lower roof slope; reroof the sloped portions of the roof with Atlas dimensional shingles in "Morning Harvest;" and install a polyglass roof system on the low slope/flat section, in brown to match the shingles, has been **approved**.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.
6. **Gutter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7. **Torches are not to be used at any time during installation.**

The following Secretary of Interior Standards were considered in approving your application:

- # – Preserve distinctive features.
- #0 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing only, which according to your application is the only work being performed at this time. Any work on the gutters, fascia, soffits or trim must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - EKESIA FELLOWSHIP MINISTRIES 123 N ADAMS YPSILANTI MI 48197
File
Building Department



JUL 29 2020

RECEIVED

**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY	
Date Filed:	
Meeting Date:	
Action Item/Study Item	

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address 123 N Adams St

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name Yakov Smolyanov		
Address 3748 Carpenter Rd		
City Ypsilanti	State MI	Zip 48197
Phone / Fax [REDACTED]	E-Mail [REDACTED]	

Contractor

Contractor Name & Contact Info Roof Advance [REDACTED]

Type of work

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> <u>Application Amendment</u> |

Complete Description of Proposed Work:

- Tear off and re-roof entire upper and lower sections of the roof.
- Redeck entire lower section of roof with 7/16" OSB plywood.
- On steep sloped sections architectural rubberized Atlas Stormmaster Morning Harvest (matching color to existing) to be installed.
- Install Genflex ISO boards with plates and screws, Install EPDM 0.60 mill rubber roof system (upper low slope roof)
- Install granulated polyglass peal & stick rubber roof system (lower low slope roof)

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:
20,400

Permit fee:
\$45 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

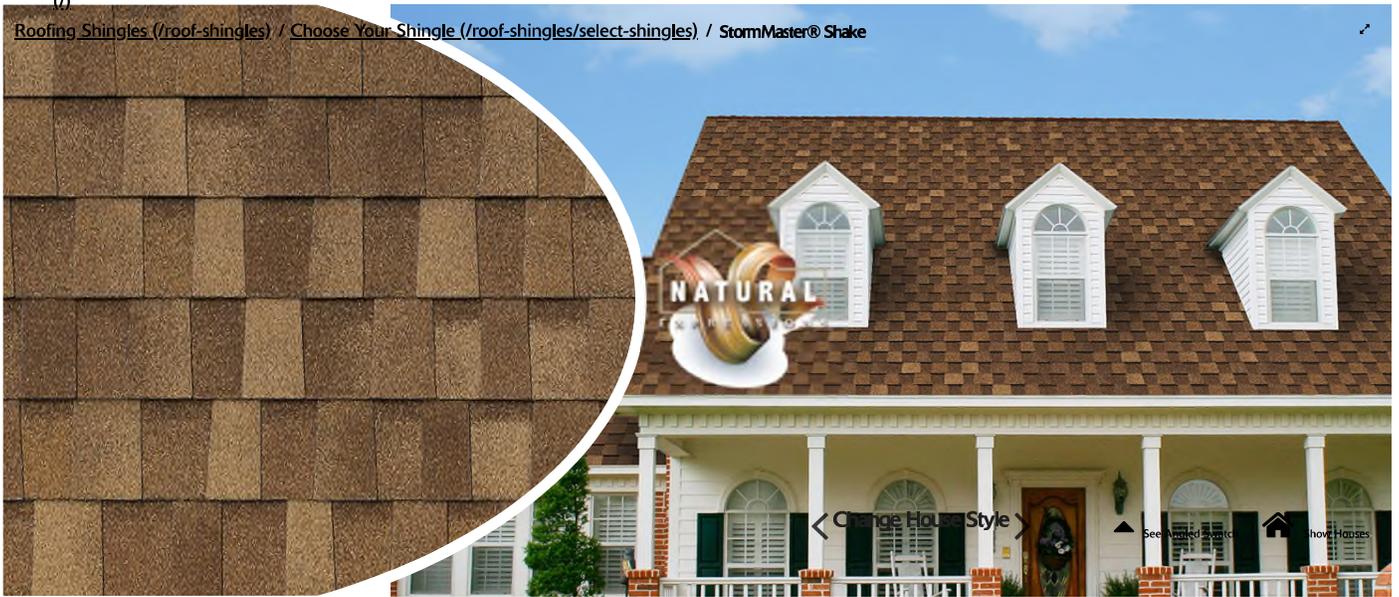
7/28/2020

Print Name:

Yakov Smolyanov

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.



StormMaster® Shake

High Wind And Impact Resistant Shingles



Beauty Backed by Protection.

StormMaster® Shake shingles featuring Scotchgard™ Protector offer durability and architectural style for a timeless look.

All Natural Expressions Classic



To provide homeowners the most accurate representation of color options, several photo scans and house shots were utilized in various lighting conditions. Variations in lighting illustrate the color gradients on asphalt shingle roofs.

Color blends vary from shingle to shingle. Before installation, consult with your contractor and request to view the actual shingles being installed on your roof to ensure confidence in your final color selection.

Where To Buy

Find A Local Retailer

YOUR ZIP CODE

Get It Installed

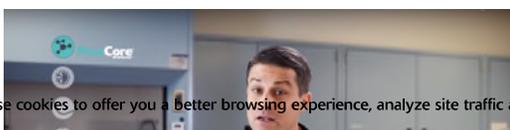
Find A Local Roofing Contractor

YOUR ZIP CODE

Request A Quote

[Click Here](#)

0:00 / 4:15



March 04, 2019

Core4™ Enhanced Polymer Technology

Views: 628483

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August 04, 2020

100 MICHIGAN PROPERTY VENTURES LLC


CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0047) for Painting at 100 W MICHIGAN

Dear 100 MICHIGAN PROPERTY VENTURES LLC,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to paint the new storefronts has been **approved**. Specifically, approval includes painting the MDO storefront surfaces in black, with trim in "Petoskey" gray to match the rest of the building.

The following Historic District conditions must be followed in all roofing projects:

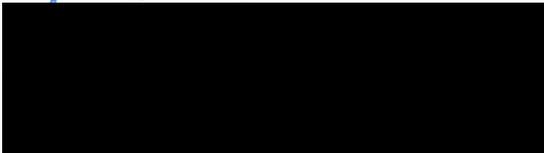
1. **The surfaces shall be prepared in the gentlest means possible; no pressure washing or sandblasting.** Hand-scraping and sanding is allowed. If the building is to be washed, no greater pressure than that of a garden house should be used.
2. **Historic unpainted surfaces shall remain unpainted.** Natural unpainted brick, stone, or wood shall not be painted.

The following Secretary of Interior Standards were considered in approving your application:

- #7 – Clean the building gently- no sandblasting or pressure washing.
- #10 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for painting only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Community & Economic Development Department

CC: Property Owner - 1 [REDACTED]
File
Building Department

Handwritten signature in blue ink



JUL 24 2020

RECEIVED

**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY
Date Filed:
Meeting Date:
Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address
100-102 W. MICHIGAN AVE YPSILANTI MI48197

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name
100 W. MICHIGAN VENTURES

Address
[REDACTED]

City
Ann Arbor

State
MI

Zip
48103

Phone / Fax
[REDACTED]

E-Mail
[REDACTED]

Contractor

Contractor Name & Contact Info
O'NEAL CONSTRUCTION [REDACTED]

Type of work

- | | | |
|--|--|--|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input checked="" type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

PAINTING NEW STOREFRONT.
SHERMAN WILLIAMS ACRYLIC EXTERIOR PAINT.
ALL TRIM PAINTED COLOR MATCHED TO
"PETOSKEY" CURRENT MASONRY PAINT COLOR.
MDO, STOREFRONT PAINTED BLACK.

Materials (for paint include color chips or samples with application):

SPEC SHEET PROVIDED.

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:
\$ 2,400

Permit fee:
\$45 + 0 = \$45-

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature: 

Date: 7/21/20

Print Name: CONOR DORAN

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

SuperPaint®

Exterior Latex Flat

A80-Series



SHERWIN WILLIAMS®

CHARACTERISTICS

SuperPaint Exterior Latex, with resistance to early dirt pick up, provides outstanding performance on properly prepared aluminum and vinyl siding, wood, hardboard, masonry, cement, brick, block, stucco, and metal down to a surface and air temperature of 35°F.

VinylSafe™ paint colors allow you the freedom to choose from 100 color options, including a limited selection of darker colors formulated to resist warping or buckling when applied to a sound, stable vinyl substrate.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon
@ 4 mils wet; 1.5 mils dry

Drying Time, @ 50% RH:

	@ 35-45°F	@ 45°F +
Touch:	2 hours	2 hours
Recoat:	24-48 hours	4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent

Finish: 0-5 units @ 85°

Tinting with CCE only:

Base:	oz per gallon	Strength:
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultradeep Base	10-12	SherColor
Light Yellow	2-12	SherColor

Extra White A80W02151

(may vary by color)

VOC (less exempt solvents):

less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids: 37 ± 2%

Weight Solids: 53 ± 2%

Weight per Gallon: 11.28 lbs

Flash Point: N/A

Vehicle Type: 100% Acrylic

Shelf Life: 36 months unopened

WVP Perms (US) 27.48 grains/(hr ft² in Hg)

Mildew Resistant

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 07/07/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	N/A
LEED® v4 & v4.1 VOC	Yes
EPD-NSF® Certified	N/A
MIR-Manufacturer Inventory	N/A
MPI®	Yes

APPLICATION

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush:

Use a nylon-polyester brush.

Roller:

Use a high quality 3/8-3/4 inch nap synthetic roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide.

Spray—Airless

Pressure 2000 p.s.i.

Tip .015-.019 inch

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

Thoroughly follow the recommended surface preparations. Most coating failures are due to inadequate surface preparation or application. Thorough surface preparation will help provide long term protection.

SPECIFICATIONS

SuperPaint Exterior Latex can be self-priming when used directly over existing coatings, or bare drywall, plaster and masonry (with a cured pH of less than 9). The first coat acts like a coat of primer and the second coat provides the final appearance and performance. Please note that some specific surfaces require specialized treatment.

Use on these properly prepared surfaces:

Aluminum & Aluminum Siding¹,

Galvanized Steel¹

2 coats SuperPaint Exterior Latex

Concrete Block, CMU, Split face Block

1 coat Loxon Acrylic Block Surfacer

2 coats SuperPaint Exterior Latex

Brick, Stucco, Cement, Concrete

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Plywood

1 coat Exterior Latex Primer

2 coats SuperPaint Exterior Latex

***Vinyl Siding**

2 coats SuperPaint Exterior Latex

Wood (Cedar, Redwood)⁴

1 coat Exterior Oil-Based Wood Primer²

2 coats SuperPaint Exterior Latex

¹ On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

² Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

³ Not for use at temperatures under 40°F. See specific primer label for that product's application conditions.

⁴ Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

Other primers may be appropriate. Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.

SuperPaint®

Exterior Latex Flat

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at **1-800-424-LEAD** (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer/sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Aluminum and Galvanized Steel:

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

Cement Composition Siding/Panels:

Remove all dirt, dust, grease, oil, loose particles, laitance, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH, if the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.

Caulking:

Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

Masonry, Concrete, Cement, Block:

All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces should be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Concrete & Masonry Primer/Sealer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant. Concrete masonry units (CMU) - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 50°F (10°C) before filling. Use Loxon Acrylic Block Surfacer. The filler must be thoroughly dry before topcoating.

Previously Painted Surfaces:

If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

SURFACE PREPARATION

Mildew:

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.

Wood, Plywood, Composition Board:

Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.

Steel:

Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.

Stucco:

Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete & Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.

***Vinyl or other PVC Building Products:**

Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, prime with appropriate white primer. Do not paint vinyl with any color darker than the original color or having a Light Reflective Value (LRV) of less than 56 unless VinylSafe® Colors are used. If VinylSafe colors are not used the vinyl may warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.

CAUTIONS

For Exterior use only
Protect from freezing.
Non-photochemically reactive.

Not for use on floors.

Before using, carefully read **CAUTIONS on label**

CRYSTALLINE SILICA, ZINC: Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Adequate ventilation required when sanding or abrading the dried film. If adequate ventilation cannot be provided wear an approved particulate respirator (NIOSH approved). Follow respirator manufacturer's directions for respirator use. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately.

DELAYED EFFECTS FROM LONG TERM OVEREXPOSURE. Abrading or sanding of the dry film may release crystalline silica which has been shown to cause lung damage and cancer under long term exposure. **WARNING:** This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 07/07/2020 A80Y00156 29 36

CLEANUP INFORMATION

Clean spills, spatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.





MINUTES

City of Ypsilanti HISTORIC DISTRICT COMMISSION Virtual Meeting

Tuesday, July 28, 2020
7:00 P.M.

CALL TO ORDER AND ROLL CALL

Chairperson Pettit Video/telephone usage instructions given for potential attendees
Meeting called to order at 7:03pm

Commissioners Present: Alex Pettit, Erika Lindsay, Amy Swift, James Chesnut

Commissioners Absent: Anne Stevenson, Ron Rupert

Staff Present: Scott Slagor, Preservation Planner
Nancy Hare-Dickerson, Commission Recording Secretary

Additional Staff Present: Andrew Hellenga, City Clerk
Andy Aamodt, City Planner
Chelsea Thomas, Treasury Technician

APPROVAL OF AGENDA

Motion: Lindsay (second: Swift) moved to approve the agenda as submitted.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

PUBLIC COMMENT ON AGENDA ITEMS- none

PUBLIC HEARING—none

OLD BUSINESS—none

NEW BUSINESS

201 N River

**Awning.*

Applicant: Karen Facer, church representative- present

Discussion: Pettit: Asked applicant to walk the Commission through the awning work that is planned.

Facer: Stated that the awning will go on the non-historical portion of the west side of the building and will not be seen by people driving by River Street. Indicated that the awning will provide protection to people entering the elevator vestibule. Stated that it will also provide some protection from the weather for the volunteers who run the drive-through food pantry.

Pettit: Stated that it looks to be an aluminum structure *[reference materials]*. Asked if the posts are anchored in concrete *[reference materials]*.

Facer: Confirmed. Stated that they are anchored.

Chesnut: Asked for clarification on the height.

Facer: *[Clarified document materials]*. Stated that the special order would be for the ten-foot poles so that it will clear the light and the security camera.

Chesnut: Stated that it appears that the ten-foot elevation is going to tuck just about under that flashing detail *[reference photo materials]*.

Facer: Confirmed.

Chesnut: Asked -- and then the gutter system is intended to tie back into the two adjacent gutters.

Facer: Confirmed. Stated that to the right of the door is the gutter system *[reference photo materials]*, and the gutter from the awning will tie into that existing gutter.

Chesnut: Asked -- so all the water collected on the new awning will hit a gutter that wraps the new awning and then has a downspout that goes into that gutter to the right *[reference photo materials]*.

Facer: Confirmed. Stated that there will be no pooling of water on the existing parking lot.

Motion: Chesnut (second: Swift) moved to approve and issue a certificate of appropriateness for the work at 201 N River, as submitted in the application dated June 30, 2020, for installation of an Americana Sierra Patio Cover, as specified. Structural components mounted to the building shall occur at the mortar joints.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

216 S Washington

**Windows.*

Applicant: Brett Mahaffey and Larry Jones, Renewal by Andersen– present

Discussion: Pettit: Asked applicant to walk the Commission through the plans for additional windows.

Mahaffey: Indicated that the application is for three wood windows in the back and one on the back right-side of the house. Stated that the windows are not visible from the road. Stated that the plan is for one picture window and three double-hung. Indicated that the center sash of the picture window is broken and is covered with cardboard as a result *[reference photo materials]*. Stated that one window is in the shower well of the bathroom and is rotted. Indicated that the plan is to replace that window and do the interior trim in Azek to avoid future rotting issues. Indicated that the plan is to replace the upper level window, which is a wider one, and then a lower side window. Stated that the lower level 102 window is in the same room as 101 *[reference photo materials]*. Indicated that the plan is to change 101 to a gliding window to allow the homeowner to open it up, get a breeze through the house and see and talk to their kids playing in the yard.

[Further clarifying discussion as to room window locations]

Pettit: Asked what window 101 would look like.

Mahaffey: Stated that the two outer windows would slide into the center one *[reference drawing]*.

[Further clarifying discussion, reference drawing, as to window 101]

Chesnut: Summarizing, stated that what it will look like is it is going to be approximately a three-inch frame at the perimeter of the window and then the vertical mullions will be about two inches.

Mahaffey: Confirmed.

Pettit: Asked if both gliders can be opened at the same time.

Mahaffey: Confirmed, no.

Lindsay: Indicated that both left and right sides would be recessed, which could create a different kind of shadow *[reference drawing]*. Stated that what was a kind of grille pattern, now is a really thick and heavy line *[reference drawing]*.

Mahaffey: Acknowledged.

Lindsay: To clarify, asked if this is on the back façade.

Mahaffey: Confirmed.

Swift: Asked if the glass is broken on the actual sash or on the storm window *[reference photo materials]*.

Mahaffey: Stated that it is on the inside.

Swift: Asked if the pane is in a similar condition as the storm is depicted *[reference photo materials]*.

Mahaffey: Stated that the outside storm is fine and is not broken. Stated that it might be cracked but the interior glass is broken where the cardboard is *[reference photo materials]*.

[Further clarifying discussion as to the condition of the wood and paint on the sash, reference photo materials]

[Discussion as to replacement appropriateness for window 101]

Jones: *[Invitation to commissioners to visit the site and view the first two phases of work completed]*

[Discussion regarding Secretary of the Interior's Standards for the Rehabilitation of Historic of Historic Structures as to repair/replacement]

[Discussion as to accomplishing window energy efficiency]

Pettit: In summary *[reference documentation and photos]*, stated that there is nothing showing that window 101 is destroyed and not repairable. Stated that it looks like the storm has done a good job of protecting the window.

Jones: Indicated that since the primary concern is to make the home air tight and sealed up, it would be appreciated if they could at least put the picture window in there.

Swift: Asked if the picture window would still have grilles.

Jones: Confirmed. Stated that they would be totally replicated.

Swift: Asked if they are true divided lites.

Mahaffey: Confirmed. Stated that there would be grilles on the inside and outside, and then there is a divider bar between the panes of glass.

Lindsay: Asked about the possibility of, instead of sliders, having two casements on the sides that are opening and one piece down the middle that is stationary.

[Discussion ensued regarding alternative options]

Pettit: Asked, as to window 102, if the proposal is to replace the double-hung *[reference photo*

materials].

Mahaffey: Stated that they would match it exactly.

[Discussion regarding the history of the home and previous work done]

Mahaffey: Stated that 201 is a double-casement window right above 101. Stated that it was completely shut and had to be banged open.

[Discussion ensued as to existing window placement and window condition of 201]

Pettit: Asked if they are planning a similar double-hung/similar lite pattern.

Mahaffey: Confirmed.

Pettit: Asked about the next window.

Mahaffey: Stated that 202 is a double-hung window in the bathroom. Stated that it is very rotted because it is in the shower well. Indicated that they would like to do textured glass on the top and bottom for additional privacy reasons.

[Discussion ensued as to historical appropriateness of privacy glass/options]

Mahaffey: Stated that going back to the picture window, the 101, that he looked into the sizes. Stated that they are not able to do an awning window that big. Stated that it is just over six-feet wide by five-feet high. Stated that if they match that same front of the house, the casement windows with five-inches on the mullion on a double-casement or even a triple-casement for that wide of an opening, would probably not be that bad.

Chesnut: Asked if they can do a picture window in that size.

Jones: Confirmed. Stated that he was thinking about two double-hung windows to match the rest of the back of the house.

Chesnut: Indicated that the commissioners discussed earlier the intent to match what is there — the material and aesthetic. Indicated that the Commission is doing their best to discuss options for the ventilation that is desired and the audible communication in the back yard.

Jones: Stated that the only problem with the casement is if the windows are open and the kids are running around, we would not want them to run into the sash.

[Discussion continued]

Mahaffey: Asked if they would be allowed to replace it with a picture window with matching grilles, to look like that *[reference photo materials]* with a three-wide-three-high grille pattern.

[Discussion ensued as to repair/replacement appropriateness]

Mahaffey: Asked if the Commission has a list of repair companies that could be given to the homeowner.

Slagor: *[Indicated that the City does not endorse specific contractors but shared the names of agency references who may be able to provide assistance]*

[Final clarifying discussion was had]

[Procedural discussion ensued]

Mahaffey: Stated that he would like to amend the application for all the windows, except for 101, to be replaced.

Slagor: Clarified that window 101 was removed from the application and that the other windows remain as originally presented.

Swift: Stated that she will be voting for replacement and approval of the proposal based on the era of what seems to be the windows that are in this particular package not being original to the first construction date of the house.

Motion: Swift (second: Chesnut) moved to approve and issue a Certificate of Appropriateness for the work at 216 S Washington for the replacement of three windows with Renewal by Andersen in Red Rock brown. The new windows shall be full frame replicas that match the grille pattern and dimensions of the original windows. In the bathroom [window #202], a hammered glass or similarly obscure and historic glass shall be in the upper and lower sashes.

Secretary of the Interior Standards:

#5 – Preserve distinctive features.

#6 – Repair, don't replace. Replacements shall match original.

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

100 W Michigan

**Windows.*

Applicant: Conor Doran, property representative; and Nick Kresta, O'Neil Construction - present

Discussion: Pettit: Asked applicant to walk the Commission through the application.

Kresta: Stated that there are twelve windows on the south face of the building. Indicated that the existing windows are failing non-original vinyl windows which need replacing. *[Referencing diagram materials]*, indicated that the replacement windows are as similar as they could replicate

to what is believed the original windows were, in that they equal the panes and the grilles are the same dimension. Stated that it is four separate operable sections with the thick muntin portion in the middle. Stated that it is all wood.

Pettit: Stated that the windows look a hundred percent better.

Swift: Acknowledged the challenges the applicants dealt with and indicated her thanks for their hard work.

Pettit: Asked applicant to talk about the infill piece at the top [*reference photo materials*].

Kresta: Stated that at some point the windows were already squared up and have got infills installed on both levels [*reference photo materials*]. Stated that they are not moveable. Stated that they are working within the opening available to them. Stated that it is the window proper that is being replaced. Stated that those are sitting proud. Stated that they will recess those as well into the opening.

Pettit: Asked if any of the infill arches need anything beyond what is existing there [*reference photo materials*]. Asked if there will be any work on that portion of the opening.

Kresta: Stated that the header infills will remain as they are now. Stated that if they take it out and find there is something that needs to be done to ensure a stable installation, then they will do that. Stated that aesthetically and functionally, there is no change to the header.

Swift: Stated that the whole frame is being set back into the brick. Asked if the sill will protrude and sit proud outside for drainage.

Kresta: Confirmed. Stated that they will take the drip edge beyond the face of the brick.

Swift: Stated that it looks like the brick mold has a slight profile to it.

Kresta: Confirmed. Stated that there will be a profiled casing around it.

Chesnut: Stated that it looks like there is an inch and five-sixteenths thick material that will frame these windows on the exterior and sit proud of the face of the brick.

Kresta: Stated -- no, that will not be proud of the face of the brick; that will all be within the brick opening.

[Clarifying discussion continued, referencing materials, regarding sills/face of the brick]

Kresta: Stated that the important thing is that they are not going to drip water. Stated that the brick will take on water, and so they understand that some material is needed to get any shed water off on to the face of the brick where it can continue down and not seep in. Stated that once these windows are taken out, there may need to be some work done right there for some sort of sub-sill [*reference materials*]. Stated that whatever they do there is going to be in that effort. Stated that they are not going to leave standing water on top of the brick.

[Further clarifying discussion continued]

Motion: Swift (second: Lindsay) moved to approve and issue a Certificate of Appropriateness for the work at 100 W Michigan for installation of 12 new Jeld Wen Sitrine double-hung wood windows on the façade second and third stories, as specified.

Secretary of the Interior Standards:

#5 – Preserve distinctive features.

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

301 Maple

**Accessory building.*

Applicant: Adriaan Van Velden, owner- present

Discussion: Pettit: Asked applicant to talk the Commission through the proposal.

Van Velden: Stated that the proposal is to replace the existing shed which is eight-by-eight. Stated that the intent is to build an accessory structure that will provide more space for a garden shed and also for storage. *[Reference drawing]* -- Stated that the building is eleven-feet wide by thirty-two-feet long. Stated that it is in the west side yard, three feet off the west boundary. Stated that it is about sixty foot from the front property line and about thirty-feet behind the six-foot fence on the front side of the property. Stated that it is about forty feet from the rear property line. Stated that the intended materials are board-and-batten siding painted white. Stated that the house is pink with white trim, and the idea is to do the accessory building all in white. Stated that he is not yet certain on the type of windows but the intention is to do possibly a couple of high-level awning windows and then a couple of single or double-hung wood windows, clad externally in either aluminum or Fiberglas. Stated that they would be Pella and would match the shape and form of the windows on the existing house. Stated that they would be about thirty-by-sixty. Stated that the existing house has windows in similar proportions, though slightly larger. Stated that at this point, the plan is for a double door on the north side to the rear of the property. Stated that on the south elevation, there will probably be no opening at this point but the intention is to frame it out, so that a double door could be done in the future. Stated that the proposed roof material is a 5v Crimp traditional metal roof in a galvalume finish *[reference photo materials]*. Stated a change in the footings -- to a six-by-six pressure-treated wood post series of footings.

Swift: Asked if this is behind a fence.

Van Velden: Confirmed. Stated that there is a six-foot fence along the front property line. Stated that it runs from the southwest corner of the house to the west property line.

[Further clarifying discussion as to window/door type/style]

Motion: Swift (second: Chesnut) moved to approve and issue a Certificate of Appropriateness for the work at 301 Maple as submitted in the application dated July 8, 2020 for installation of a new garden shed as specified. The new structure shall match the drawings and material lists submitted. Additionally, as discussed, the windows should match the configuration as submitted but be either a wood or aluminum-clad wood material. The door should also match the design submitted with a half-lite material and be in compliance with the door guidelines that outline either a natural material or door or synthetic door that does not have a textured finish. The exterior wood components of the structure shall be painted. Amendment - after the application was submitted, there was a change to pressure treated footings instead of concrete sonotubes as listed.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

217 W Michigan

**Balcony deck replacement and additional structural support.*

Applicant: Thomas Rumford, owner; David Post, contractor- not present

Discussion: Pettit: Summarized the application.

[Commission reviewed and discussed the proposal and reference materials]

[Procedural discussion]

Motion: Chesnut (second: Lindsay) moved to approve and issue a Certificate of Appropriateness for the work at 217 W Michigan as submitted in the application dated July 14, 2020 for work to the rear egress balcony. A new structural support timber post shall be added as specified; the balcony deck shall be radius edged deck boards as specified; the stair treads may be repaired as needed. A new balustrade will not be installed at this time per note number 5 in the Staff Review. For future reference and future application, the applicant should reference the handrail guidelines provided by the City of Ypsilanti [see Fact Sheet] prior to submitting for approval of the balustrade. Approval is conditioned that the wood components be painted or stained in an opaque finish. An additional comment is that note B on sheet S-1 of the structural drawings be clarified if in fact new column locations are to be located for structural reasons, and resubmitted to the City for final approval by the Historic District Commission.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

STUDY ITEMS-none

ADMINISTRATIVE APPROVALS

1. **210 Oak** – Paint
2. **310 Florence** – Fence
3. **326 E Forest** – Paint
4. **116 N Hamilton** – Paint

Motion: Lindsay (second: Swift) moved to accept the administrative approvals for 210 Oak - paint; 310 Florence– fence; 326 E Forest – paint; 116 N Hamilton – paint.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

OTHER BUSINESS

1. Property Monitoring

Commissioner/Staff discussion as to property monitoring.

2. Commissioner Comments

Commissioner Pettit shared a Tesla Solar Glass Roof Installation presentation.

Discussion regarding the Historic District commissioner vacancy.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS—none

HOUSEKEEPING BUSINESS

Approval of the minutes of June 23, 2020

Motion: Lindsay (second: Swift) moved to approve the minutes of June 23, 2020 as submitted.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

ADJOURNMENT

Chairperson Pettit adjourned the meeting, citing the end of the agenda with no further items to discuss.

MEETING ADJOURNED at 9:48 p.m.

Full Minutes Prepared By: Nancy Hare-Dickerson

CITY OF YPSILANTI
Agenda
Historic District Commission
Tuesday, August 11, 2020 - 7:00 p.m.
Remote Meeting via Zoom

The Ypsilanti Historic District Commission works to safeguard Ypsilanti's built heritage by guiding development and renovation within the Historic District. Enabled by federal, state, and local legislation, the HDC seeks to stabilize and improve property values, to promote preservation education, and to develop the Ypsilanti Historic District as a vital living area.

An audio recording of the meeting will be made for the purpose of assisting in the preparation of official minutes only. Once the official minutes are approved the audio recording will be destroyed.

I. CALL TO ORDER AND ROLL CALL

Alex Pettit, Chair	P	A
Anne Stevenson, Vice Chair	P	A
Erika Lindsay	P	A
Ron Rupert	P	A
Amy Swift	P	A
James Chesnut	P	A
VACANT		

II. APPROVAL OF AGENDA

III. PUBLIC COMMENTS ON AGENDA ITEMS

IV. PUBLIC HEARING—none

V. BUSINESS SESSION

A. OLD BUSINESS—none

B. NEW BUSINESS

- | | |
|----------------------|----------------------------|
| 1. 56 E Cross | Fence/mural/awning |
| 2. 412 Oak | New detached garage |

C. STUDY ITEMS—none

D. ADMINISTRATIVE APPROVALS

- | | |
|--------------------------|-----------------------|
| 1. 501 N River | Roof and paint |
| 2. 123 N Adams | Roof |
| 3. 100 W Michigan | Paint |

E. OTHER BUSINESS

- | |
|---------------------------------|
| 1. Property monitoring |
| 2. Commissioner comments |

VI. AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS

VII. HOUSEKEEPING BUSINESS

- | |
|---|
| 1. Approval of meeting minutes July 28, 2020 |
|---|

VIII. ADJOURNMENT

Secretary of the Interior's Standards for the Rehabilitation of Historic Structures

Developed by the U.S. Department of the Interior, the Standards provide a framework that guides protective decisions regarding historic structures. The Historic District Commission is required to cite applicable Standards with each formal decision it renders. It may also cite HDC Fact Sheets as part of its decision-making process.

1. Use property for original purpose or provide compatible use with minimal alteration.

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. Do not destroy original character. Do not remove or alter historic material or features.

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Do not imitate earlier styles.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Preserve significant changes acquired over time.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Preserve distinctive features.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Repair, don't replace. Replacements shall match original.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Clean building gently—no sandblasting.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

8. Preserve archaeological resources.

Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New work shall be removable.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



HDC Work Permit Staff Review

Property address: 56 E Cross

Property History: The project is concerning a parking lot behind 56 E Cross, a contributing building to the historic district. Historically, this area housed a coal shed for O. E. Thompson & Sons, and later the shed was replaced by series of five coal silos. It has been a parking lot since the mid-twentieth century.

Date of Application: July 22, 2020

Date of Review: August 6, 2020

Date of Meeting: August 11, 2020

Proposed work: New fence, mural, possible sun sail awnings.

Materials: Wood fencing, metal poles, and paint.

Staff review:

1. Typically, rear fence applications can be approved administratively, however staff felt this application was more detailed than a standard fence and felt it appropriate for the Commission to review.
2. The applicant has installed a 6' tall dog-eared wood fence to ensure privacy between temporary outdoor dining and the neighboring property.
3. The fence will be painted with a mural- two possible options are pictured.
4. The applicant has installed tall metal poles to the fence from which to hang sun sails.
 - a. Staff requested a cut sheet of the sun sails, and the applicant said they are not sure if they can hem them to the size they want and may choose to string patio lights from the poles instead. No cut sheet was provided.
 - b. The poles are taller than 6' and a bare metal surface that stands out next to the wood fence.
 - c. Staff recommend considering painting the poles so they blend in, or removing them altogether.

Recommended Motions:

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

Move to approve and issue a Certificate of Appropriateness for the work 56 E Forest for installation of a dog-eared fence as specified. The fence shall be painted with a mural. The metal poles attached to the fence shall also be painted and may be used to mount sun sails.

Relevant Secretary of the Interior's Standards:
#9, #10

Prepared by:
Scott E. Slagor, Preservation Planner



City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY
Date Filed: 7/22/2020
Meeting Date:
Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address	56 E. CROSS
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Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name			LINDA FRENCH
Address			[REDACTED]
City			Ypsilanti
State		MI	
Zip		48197	
Phone / Fax		E-Mail	
[REDACTED]		[REDACTED]	

Contractor

Contractor Name & Contact Info

Type of work

- | | | |
|--|--|---|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> <u>Application Amendment</u> |

Complete Description of Proposed Work:

WOODEN FENCE approx. 10 ft.

To fence is to BLOCK the house between our parking lots. BECAUSE OF THE VIRUS, WE HAVE TABLE SEATING IN OUR BACK LOT. THE WEEDS, RATS + food PANTRY ARE being blocked by the fence.

Materials (for paint include color chips or samples with application):

WOOD We will be painting ART on fence next week. We have hired GARY HORTON TO PAINT A MURAL

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

0.00

Permit fee:

\$45 + 45.00 =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Sig

[Redacted Signature]

Date:

7-18-20

Print Name:

LINDA FRENCH

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

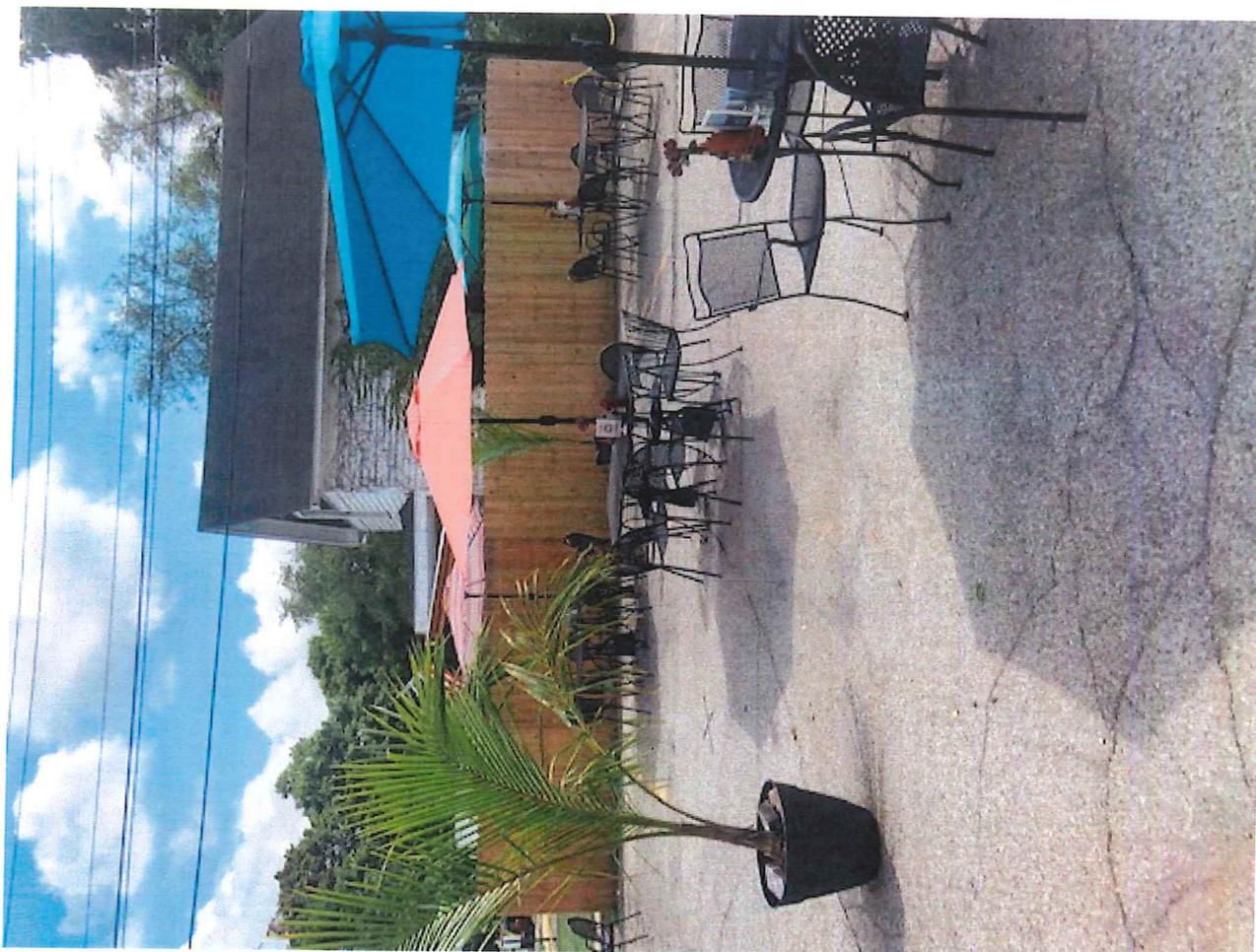
PH DC-20-0046
56 E CROSS

Lindsay Shaner

From: Linda French [REDACTED]
Sent: Wednesday, July 22, 2020 3:52 PM
To: Lindsay Shaner
Subject: Sidetrack

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The fence is 6 ft by 40 ft



Sent from my iPhone

Mural options for fence at 56 E Cross







HDC Work Permit Staff Review

Property address: 412 Oak

Property History: The property includes a Gabled-ell vernacular house, erected in 1890. The 400 block of Oak was not included in the National Register listing, however the house retains historic integrity and Staff interprets it is contributing to the local historic district.

Date of Application: August 4, 2020

Date of Review: August 5, 2020

Date of Meeting: August 11, 2020

Proposed work: Construction of a new detached garage.

Materials: Concrete; fiber-cement siding, asphalt shingles, aluminum-clad windows and metal doors.

Staff review:

1. This project was presented to the Commission as a Study Item on September 10, 2019.
2. Applicant proposes moving or removing a non-historic shed behind the house and constructing a detached garage.
3. The garage will measure 16' wide by 32' long, and 15'8" tall from ground to roof peak.
4. The foundation will be parged concrete.
5. The exterior walls will be clad in Hardi-plank fiber-cement siding, with a smooth finish.
6. The roof will be sheathed in Certainteed Landmark shingles in "Shadow Ridge Weathered Wood."
 - a. Roof ventilation will be achieved through soffit vents.
7. The garage door will be a HAAS 680 series raised panel with a string of clear windows on the top panel.
8. A pair of 6 panel pedestrian doors will be installed on the east elevation.
9. Two double-hung Andersen aluminum-clad E-series windows will be installed on the east elevation.

1. Use property for original purpose or provide compatible use with minimal alteration.

2. Do not destroy original character. Do not remove or alter historic material or features.

3. Do not imitate earlier styles.

4. Preserve significant changes acquired over time.

5. Preserve distinctive features.

6. Repair, don't replace. Replacements shall match original.

7. Clean building gently—no sandblasting.

8. Preserve archaeological resources.

9. Contemporary designs shall be compatible and shall not destroy significant original material.

10. New work shall be removable.

10. In staff opinion, the proposed new building sufficiently meets the HDC Design Criteria (see below, applicable Criteria **bolded**).

Recommended Motions:

Move to approve and issue a Certificate of Appropriateness for the work at 412 Oak as submitted in the application dated August 4, 2020 for construction of a detached garage. The new garage shall match the dimensions and material specifications in the drawings submitted with the application. The fiber-cement siding shall have a smooth finish. The exterior walls and trim shall be painted to match the house.

Relevant Secretary of the Interior's Standards:
#9, #10

Prepared by:
Scott E. Slagor, Preservation Planner

Sec. 54-82. Design criteria.

The historic district commission shall be further guided by the following design criteria:

- 1) The proposed height should be within ten percent of the average height of the existing adjacent historic resources.
- 2) The proposed setback should not be more than five percent in front of or behind the existing setback of adjacent historic resources.
- 3) The relationship of the height to the width of the front facade should be consistent with the pattern established by existing adjacent historic resources.**
- 4) The relationship of the height to the width of windows, doors and other openings should be consistent with the pattern established by existing adjacent historic resources.
- 5) The rhythm of structural mass to voids (openings) across the front facade should be consistent with the pattern established by existing adjacent historic resources.
- 6) The rhythm of structural mass to open space between structures should be consistent with the pattern established by existing adjacent historic resources.
- 7) The rhythm created by the placement of sidewalks, entrances, steps, porches and canopies should be consistent with the pattern established by existing adjacent historic resources.
- 8) The proposed construction materials should be the same type as those that have already been heavily used in existing adjacent historic resources.**
- 9) The proposed textures of the building materials should relate to and complement the predominant textures of the materials used in existing adjacent historic resources.**

10) The proposed colors, whether of natural materials, such as brick and stone, or applied colors, such as paint and pre colored siding, should relate to and complement the colors used on existing adjacent historic resources.

11) No specific architectural style shall be required for the construction of a new building, addition or other structure. The proposed architectural details, including, but not limited to, cornices, lintels, arches, balustrades, chimneys, porches, bays, railings, cupolas, gable ends, brackets and iron work, should be appropriate for the style of the structure on which they are to be used and compatible with other structures in the historic district and particularly to historic resources and sites to which they may be visually related.

12) The proposed roof shape and profile should relate to the predominant styles of existing adjacent historic resources.

13) The proposed landscape designs and choices of plant material should be appropriate to the character of the historic district and that of the involved historic resources.

14) The proposed paving (i.e., brick, block, concrete, slate, etc.) should be of the same types as those already heavily used around existing adjacent historic resources.

15) The proposed design shall not conflict with the building code as it relates to the welfare or safety of the occupants.

(Code 1983, § 5.333; Ord. No. 1001, 3-1-2005)



RECEIVED
AUG 04 2020
CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

R.27202
V189
PHDC-20-0051

OFFICE USE ONLY
Date Filed:
Meeting Date:
Action Item/Study Item

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address 412 OAK ST.

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name GARY TURNER		
Address [REDACTED]		
City YPSI	State MI	Zip 48198
Phone / Fax [REDACTED]	E-Mail [REDACTED]	
Contractor Name & Contact Info COMMUNITY BUILDER LC [REDACTED]		

Type of work

- | | | |
|--|--|--|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input checked="" type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

BUILD 16'-0" x 32'-0" DETACHED GARAGE, MATCH FINISHES OF EXISTG. HOUSE

Materials (for paint include color chips or samples with application):

SEE PLANS / SPEC

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. An additional fee of \$50 applies to HDC work started without the applicable permit.

Construction Cost:

30K

Permit fee:

\$45 + _____ = 90

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:

[Redacted Signature]

Date:

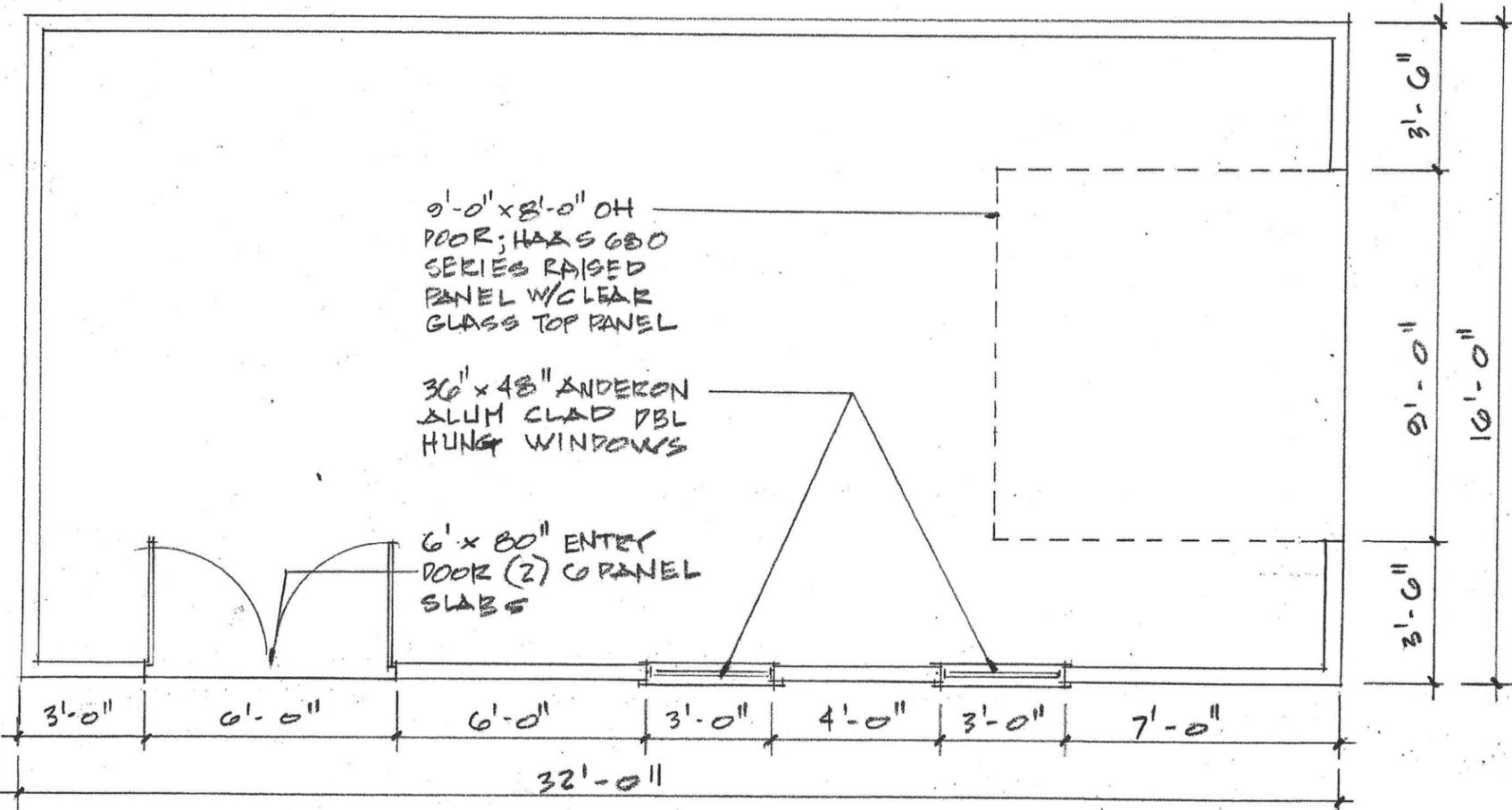
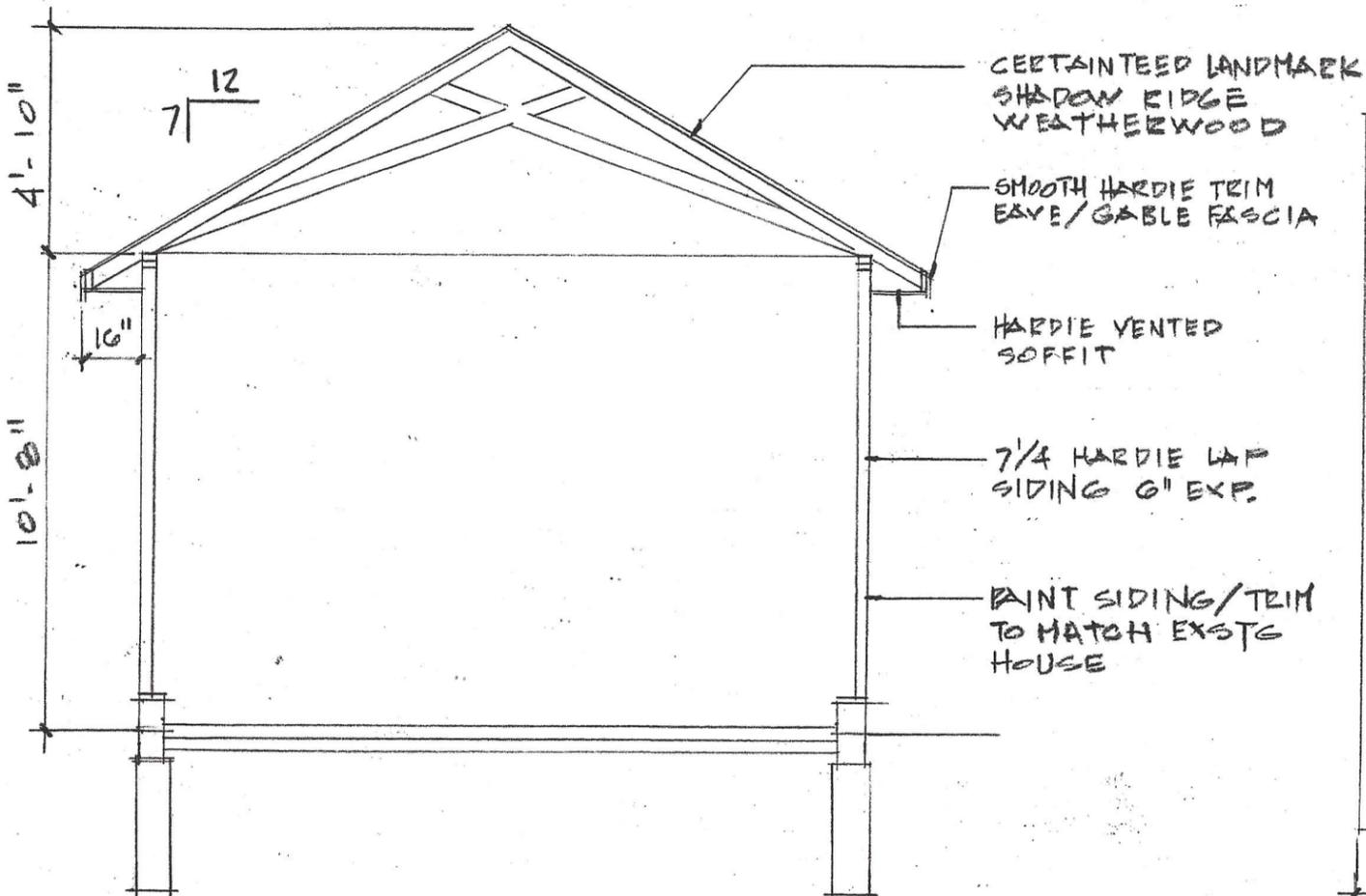
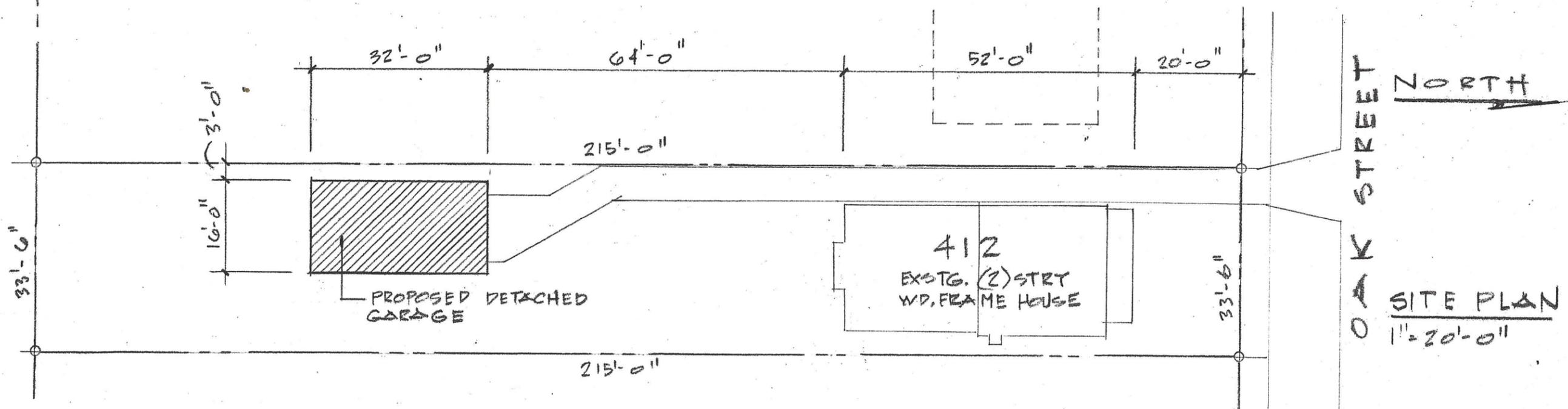
8/4/20

Print Name:

GARY D. TURNER

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

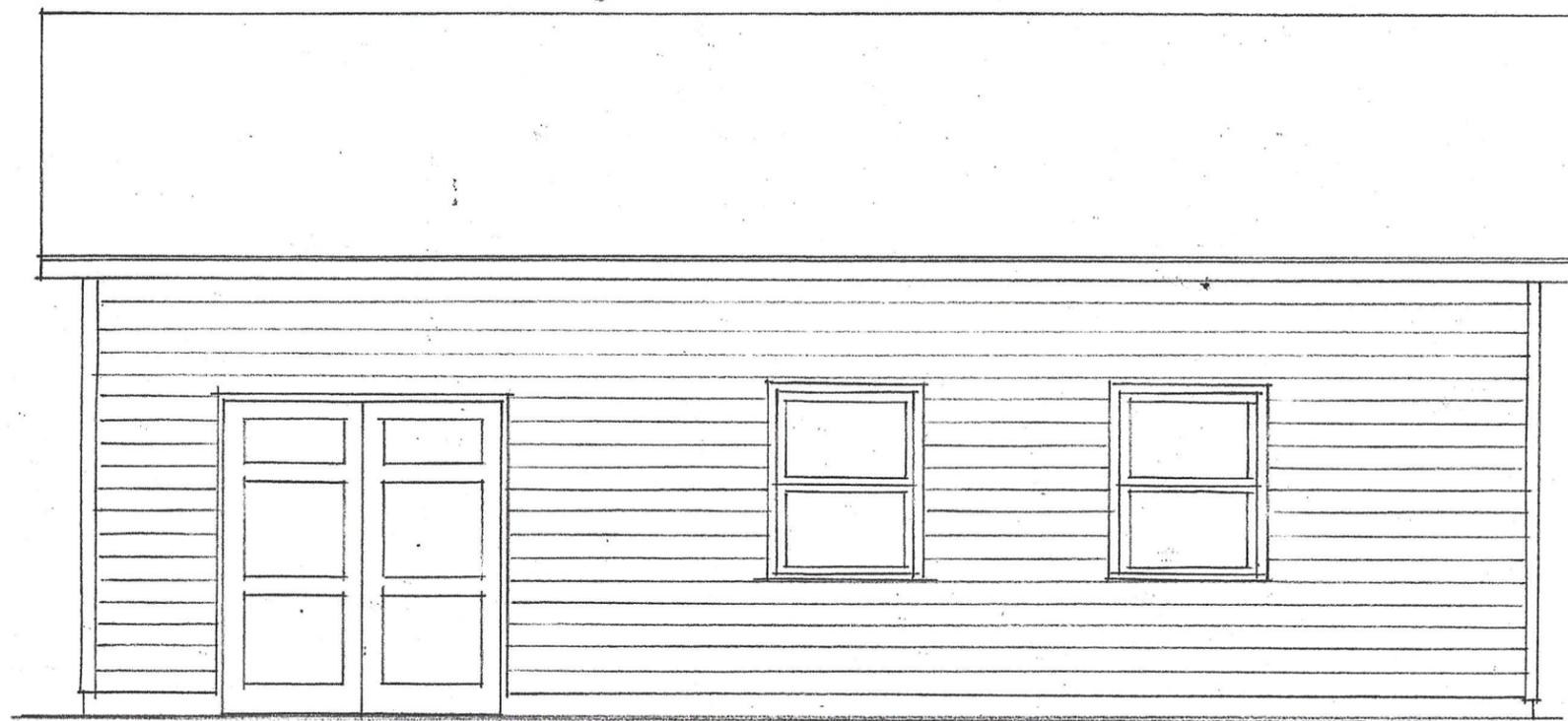
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SECTION
1/4" = 1'-0"

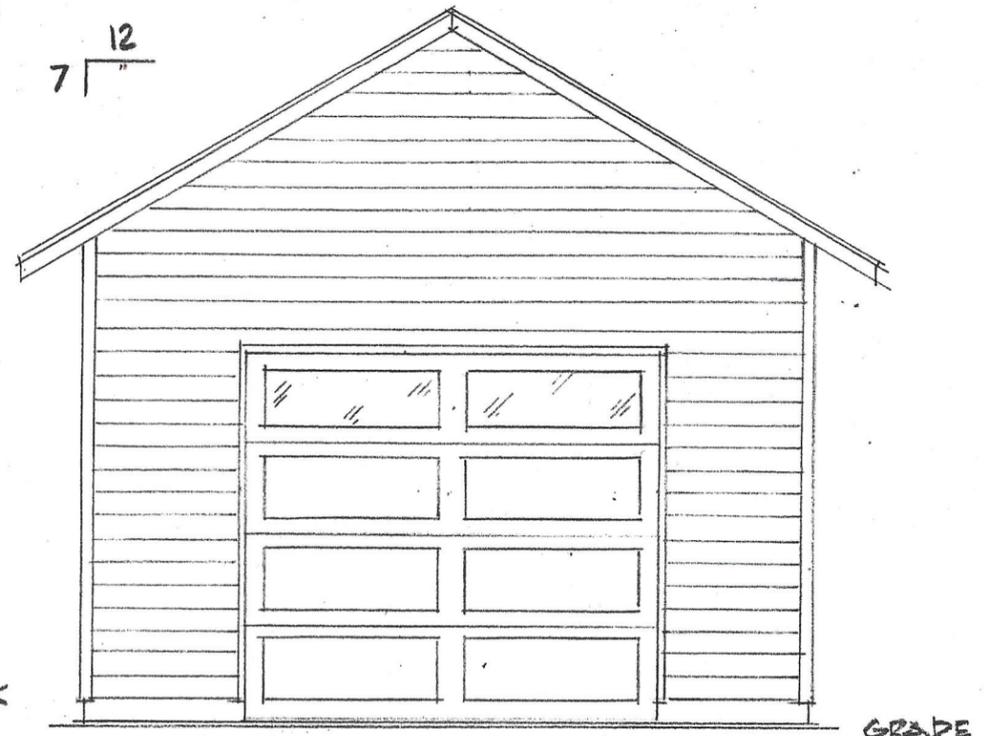
FLOOR PLAN
1/4" = 1'-0"

GRAM RESIDENCE DETACHED GARAGE 412 OAK ST. YPSILANTI, MI 48198	COMMUNITY BUILDERS LC 412 MAPLE ST. YPSILANTI, MI 48198 (734) 216-6575	SHEET 1 OF 2 SCALE AS NOTED
---	---	--------------------------------------



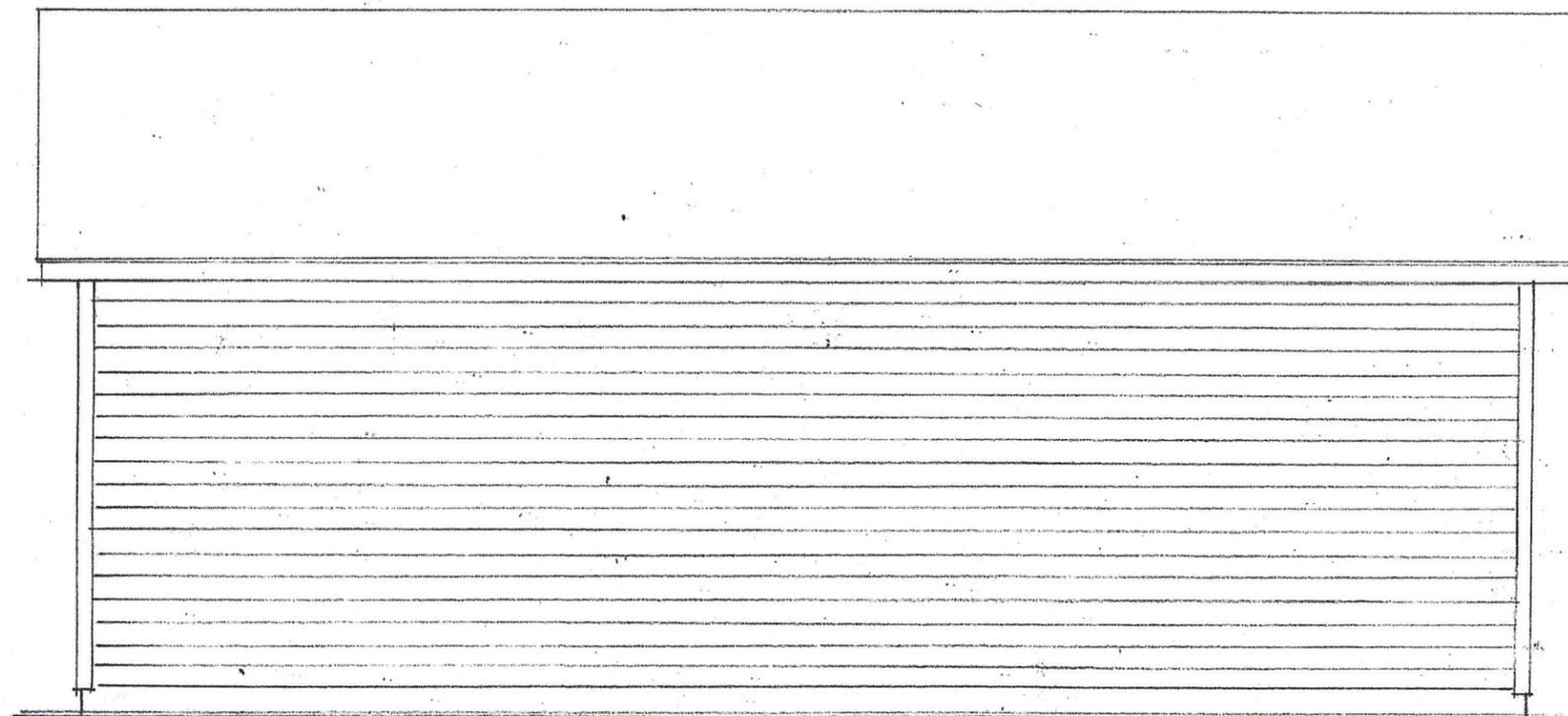
EAST ELEVATION

T.O. RIDGE
 4'-10"
 TOP PLATE
 10'-0"
 8" Tp. BLOCK

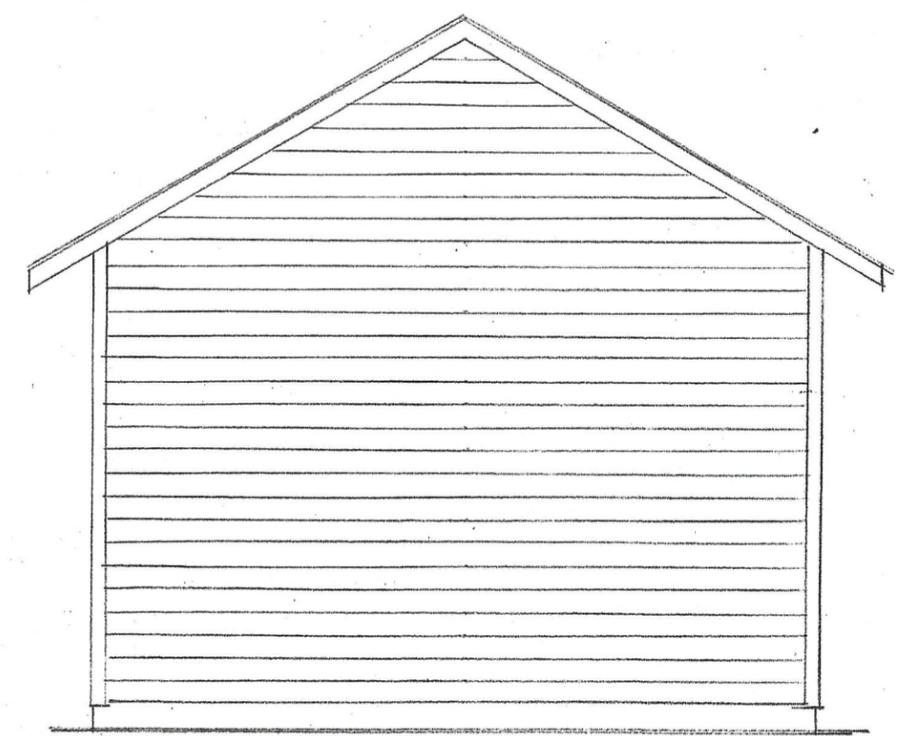


NORTH ELEVATION

GRADE



WEST ELEVATION



SOUTH ELEVATION

GRAMS RESIDENCE DETACHED GARAGE 412 OAK ST. YPSILANTI, MI 48198	COMMUNITY BUILDERS LC 412 MAPLE ST. YPSILANTI, MI 48198 gary@garybuilds.com	SHEET 2 OF 2
		SCALE 1/4" = 1'-0"



SHADOW RIDGE®

[OVERVIEW](#)

[TECHNICAL INFO](#)

[INSTALLATION](#)

[WARRANTY](#)

[FIND A PRO](#)

Shadow Ridge® Hip and Ridge Accessory Shingles are designed specifically for use with Landmark® TL and Landmark® Series shingles and are used to finish the hips and ridges of your roof. Shadow Ridge meets the hip and ridge accessory requirements for the CertainTeed Integrity Roof System® which is comprised of underlayments, shingles, accessory products and ventilation all working together. The Integrity Roof System is designed to provide optimum performance--no matter how bad the weather conditions are.

PRODUCT OVERVIEW

- [Integrity Roof System Brochure](#)
- [Accessory Brochure](#)

TECHNICAL SPECS

- [FL-5444 - Asphalt Roofing Shingles](#)
- [ICC-ES ESR-3537](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)

[\(More Info\)](#)

INSTALLATION

- [Landmark Installation Instructions](#)

[\(More Info\)](#)

WARRANTY

- [Asphalt Shingle Limited Warranty](#)

[\(More Info\)](#)



Sweets ProductTAG

GET INSPIRED AND LEARN MORE

[VISIT THE RESIDENTIAL ROOFING LEARNING CENTER](#)
[VISIT THE RESIDENTIAL ROOFING INSPIRATION GALLERY](#)



ARTICLES

[PRESERVING](#)

[HISTORY: IRVINE](#)

[RANCH HISTORIC](#)

[PARK RECEIVES](#)

[REROOF](#)

TECHNICAL INFORMATION

Shadow Ridge® shingles are composed of a fiber glass mat base. Ceramic coated mineral granules are tightly embedded in specially refined, water-resistant asphalt. Size and color availability varies by region. The "English" version is a three-piece shingle that must be separated into individual pieces, each 12" x 12", by folding along the perforated lines. The "Metric" version is a four-piece shingle that must be separated into individual pieces, each 13 1/4" x 9 27/32", by folding along the perforated lines.

ENGLISH

- Dimensions (overall): 12" x 36"
- 5" exposure
- Covers 30 linear feet/bundle

METRIC

- Dimensions (overall): 13 1/4" x 39 3/8"
- 5 5/8" exposure
- Covers 45 linear feet/bundle
- Weight: 80 lbs./bundle

Miami-Dade Product Control Acceptance: Please see the notice of Acceptance (NOA) to determine approved products by manufacturing location.

SPECS

- [FL-5444 - Asphalt Roofing Shingles](#)
- [ICC-ES ESR-3537](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)
- [Data Sheet - Shadow Ridge](#)
- [Miami-Dade NOA - Shadow Ridge](#)
- [Shadow Ridge UL USA Compliance](#)
- [ICC-ES-ESR-1389](#)

INSTALLATION

Shadow Ridge® Hip and Ridge Accessory Shingles are designed specifically for use with Landmark® TL and Landmark® Series shingles. Applying a roof system correctly is essential to the warranty and performance of the roof. Please refer to the installation instructions for complete details. Available in both English and Spanish.

INSTALLATION

- [Landmark Installation Instructions](#)

WARRANTY DETAILS

This product has a limited warranty against manufacturing defects concurrent with the warranty of the field shingle with which it is installed. See CertainTeed's Asphalt Shingle Products Limited Warranty for specific details.

WARRANTY

- [Asphalt Shingle Limited Warranty](#)

EXPORT INFORMATION

Shadow Ridge® asphalt roofing shingles are available for Export. Please review the related brochures for additional information.



For Homeowners

For Businesses

For Architects

For Haas Door Dealers

« Make a Statement. »

610 in Brown

INSULATED STEEL 600 SERIES

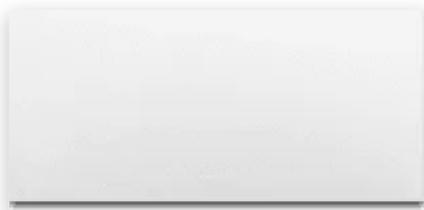
The 600 Series combines the look of deep embossed wood grain with the

strength and durability of heavy gauge galvanized steel to provide years of virtually maintenance free use. No worries about warping, cracking or rotting. Backed by a Limited Lifetime Warranty, the Insulated Steel 600 Series is ideal for all climates. It's the easy way to add beauty and value to your home.

- 1-3/8" Thick with Full Thermal Break
- 13.45 Calculated R-Value
- CFC-Free Polyurethane Insulation
- 26-Gauge Galvanized Steel
- Available with Wind Load
- 21 Color Options
- 9 Panel Options
- 15 Residential Models
- 47 Window Options
- Available with **Decorative Glass**
- Available with **SelectView Options**
- Industry Leading Warranty
- Lifetime Rust & Delamination
- 10-Year Wood Grain Finish
- 6-Year Hardware
- 3-Year Spring

CREATE YOUR

600 SERIES MODELS



Flush Panel

610 - All Windows

All colors except Bi-Directional wood grains



V-Groove Panel

612 - TL Windows

All colors except Bi-Directional wood grains



Ribbed Short Panel

660 - Carriage House Windows

672 - Ranch Windows

682 - Standard Windows

All colors



Recessed Short Panel

661 - Carriage House Windows

671 - Ranch Windows

681 - Standard Windows

All colors



Ribbed Long Panel

664 - Carriage House Windows

674 - Ranch Windows

All colors



Recessed Long Panel

663 - Carriage House Windows

673 - Ranch Windows

All colors

(not available in 24" sections)

**Raised Ranch Panel****670** - Ranch Windows

All colors

**Raised Standard Panel****680** - Standard Windows

All colors

**Sculptured Raised Panel****690** - Standard Windows

All colors

WOOD GRAIN COLORS

The pre-painted wood grain finish is baked on to ensure a durable and long lasting door. Steel wood grain colors feature a **10 year finish warranty**. [Learn more.](#)

BI-DIRECTIONAL WOOD GRAINS

A vertical wood grain pattern on the panel and stile contrasting with a horizontal pattern on the rails creates the appearance of a real wood door. Bi-directionals feature a light stucco embossment.

Ash

English Oak

American Walnut

Mahogany

UNI-DIRECTIONAL WOOD GRAINS

These authentic colors feature a woodgrain pattern that runs horizontally to complement any of our insulated steel models. Uni-directionals feature a wood grain embossment.

PREMIUM COLORS

Trinar® White

Trinar® Beige

Trinar® Brown

Carbon Black

STANDARD COLORS

Almond

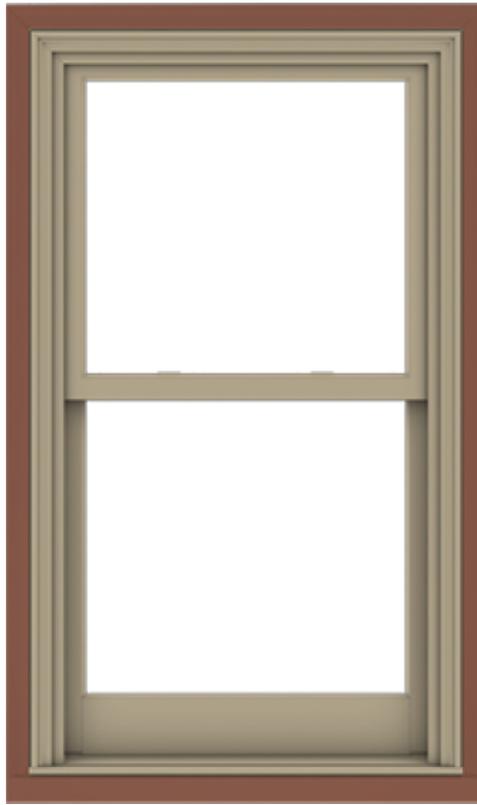
Polar White

Sandstone

Sahara Tan

Gray

Bronze



Interior Exterior

E-SERIES

DOUBLE-HUNG WINDOW

★★★★★ 5.0 (2)

E-Series double-hung windows have two operating sash that move up and down allowing for ventilation on the top, bottom or both. The sash tilt in for easy cleaning from the inside of your home. Made of wood protected by an aluminum exterior, it's our fully customizable double-hung window.

- Custom colors, interior woods and stains
- Wood protected by aluminum exterior
- Standard sizes up to 4' wide and 7'6" high. Custom sizes available.

DESIGN THIS WINDOW

Feedback



Facing southeast to facade and west elevation of the house (for reference).



Facing northeast to shed.



July 31, 2020

GOLDSTEIN, DAWN


CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0048) for Re-roofing and Re-painting at 501 N RIVER

Dear GOLDSTEIN, DAWN,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to reroof and repaint the house has been **approved**. Specifically, approved reroofing work includes: removing the existing decking, installing an ice guard, roofing paper, a white drip edge and flashing, ridge vent, and CertanTeed Satin-Bogain, Brand Manor shingles in "Weathered Wood." Approved painting work includes in-kind repairs of exterior wood components and repainting the house in "Dove White" and the porch deck in grey.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.

6 **Getter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7 **Torches are not to be used at any time during installation.**

The following Historic District conditions must be followed in all painting projects:

1. **The exterior surfaces shall be prepared in the gentlest means possible; no pressure washing or sandblasting.** Hand-scraping and sanding is allowed. If the building is to be washed, no greater pressure than that of a garden hose should be used.
2. **Historic unpainted surfaces shall not be painted.** Natural unpainted brick, stone, or wood shall not be painted.

The following Secretary of Interior Standards were considered in approving your application:

- # – Preserve distinctive features.
- # – Clean the building gently, no sandblasting or pressure washing
- #0 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing, repainting, and repairs only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (34) 483-946 **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,


Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner 
He
Building Department

R.27146 #206
PHDC-20-0048



RECEIVED
JUL 27 2020

CITY OF YPSILANTI
BUILDING DEPARTMENT

City of Ypsilanti Historic District Commission Work Permit Application

One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY	
Date Filed:	
Meeting Date:	
Action Item/Study Item	

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address
501 N. River Street, Ypsilanti, MI 48198

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name		
Dawn M. Goldstein		
Address		
[REDACTED]		
City	State	Zip
Ypsilanti	MI	48198
Phone / Fax	E-Mail	
[REDACTED]	[REDACTED]	

Contractor

Contractor Name & Contact Info
self

Type of work

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input checked="" type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

Roofing:

Complete roof tear off down to the existing OSB roof decking. Ice guard and roofing paper will be installed to code. All drip edge and flashing will be white in color. Ridge Vent will be used. The shingle will be light grey in color to match the existing, current roof. New roofing material will be an asphalt algae resistant 40-year architectural shingle in Weathered Wood (CertainTeed Saint-Bogain, Grand Manor).

Exterior Paint:

Completely pain the exterior of the house to include siding, trim, widndows, porches, exterior doors. all will be painted with Benjamin Moore Soft Gloss Finish 100% Acrylic Premium Exterior Latex Paint. The color will be Dove White to match for all elements to match the current, existing color. Will repair or replace severely damaged or rotten wood as necessary with like-kind material and same wood species. The siding will be hand scraped and sanded. A first coat of Sherwinn Williams Exterior oil-based, slow dry primer for wood will be applied by brush. Exterior latex caulk will be used only where appropriate, and two coats of exterior latex Benjamin Moore paint will be used to finish. Porch decks will be the same type of primer and paint process, but the color will be Porch Deck Grey (to match existing color).

Materials (for paint include color chips or samples with application):

Roofing: CertainTeed Saint-Gobain, Grand Manor (algae resistant shingles) Weathered Wood (color)

Exterior Paint: Benjamin Moore Soft Gloss Exterior Latex - Dove White and Porch Deck Grey
Primer - Sherwinn Williams Slow Dry Oil Primer for Wood

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:

6,000.00

Permit fee:

\$45 + 5 = 50.00

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

7/27/2020

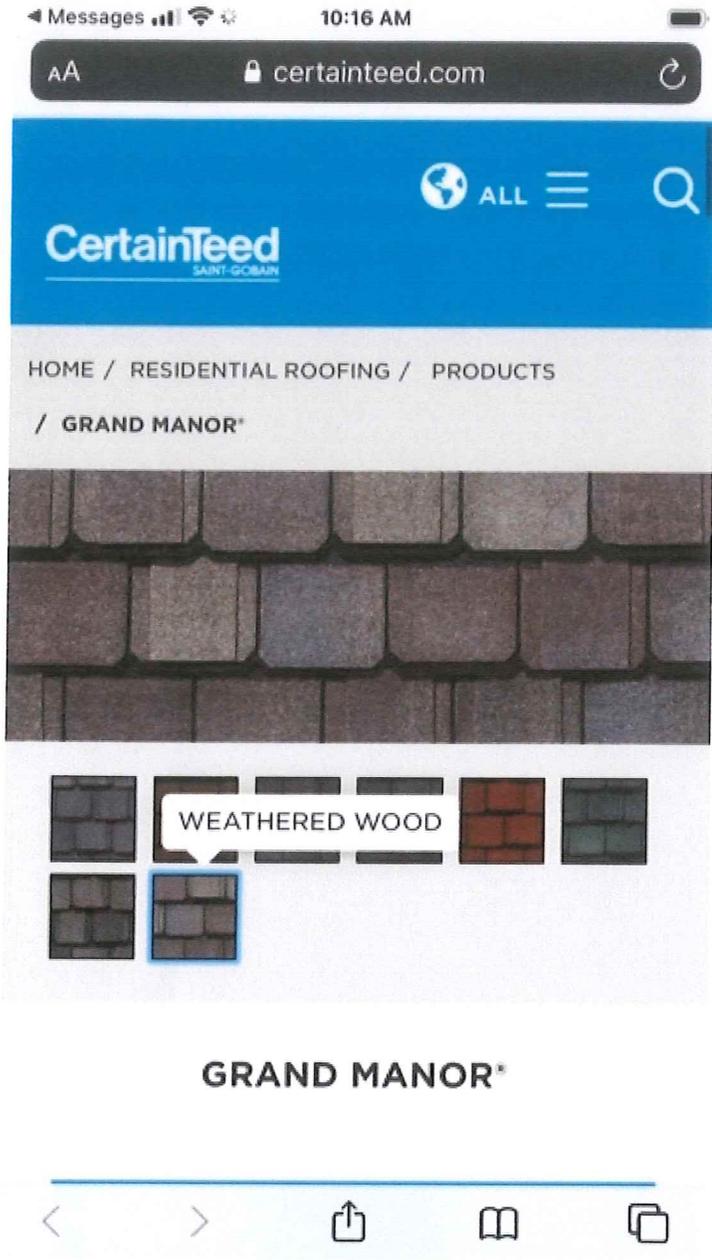
Print Name:

Dawn M. Goldstein

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All other necessary approvals and permits must be acquired before beginning work.

PHD-20-0048



White Dove
OC-17



GOES WITH



SHADES



SIMILAR

White Dove











City of Ypsilanti

Community and Economic Development

July 31, 2020

ROOF ADVANCE
3748 CARPENTER RD
YPSILANTI, MI 48197

CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0050) for Re-roofing at 123 N ADAMS

Dear ROOF ADVANCE,

Staff has reviewed the Historic District Work Permit Application for the above-named address. Your application to redeck the lower roof slope; reroof the sloped portions of the roof with Atlas dimensional shingles in "Morning Harvest;" and install a polyglass roof system on the low slope/flat section, in brown to match the shingles, has been **approved**.

The following Historic District conditions must be followed in all roofing projects:

1. **Any decorative or unusual feature on the roof, trim or molding must be maintained.** Roof deck shall overhang sufficiently to accommodate duplication of any trim or molding.
2. **Shingles shall match the current shingles in color and material.** Must be asphalt or fiberglass traditional three-tab or dimensional (i.e. architectural).
3. **Metal work, drip edge, flashing vents, must have color either factory-applied or applied on site and must match the existing colors.** No raw material.
4. **Flashing must be inserted under siding.** Color must closely match the adjacent surface (either roof shingles or building trim).
5. **Roof venting shall be accomplished through the use of ridge vents.** If additional vents must be used to meet code requirements, vents shall have a flat profile and closely match the roof color. Can vents are prohibited unless deemed necessary for code compliance. Any new can vents must be placed at the rear of the structure and *must not* be visible from the street.
6. **Gutter straps must be installed under the roof shingles.** Downspouts must be located at the corners of the structure.

7. **Torches are not to be used at any time during installation.**

The following Secretary of Interior Standards were considered in approving your application:

- # – Preserve distinctive features.
- #0 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for re-roofing only, which according to your application is the only work being performed at this time. Any work on the gutters, fascia, soffits or trim must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Scott E. Slagor, Preservation Planner
Community & Economic Development Department

CC: Property Owner - EKESIA FELLOWSHIP MINISTRIES 123 N ADAMS YPSILANTI MI 48197
File
Building Department



JUL 29 2020

RECEIVED

**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY	
Date Filed:	
Meeting Date:	
Action Item/Study Item	

To complete this application:

- Complete this form.
- Attach the following documents:
 - Photo(s) showing all locations where work is proposed (can be emailed).
 - Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
- Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address 123 N Adams St

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name Yakov Smolyanov		
Address 3748 Carpenter Rd		
City Ypsilanti	State MI	Zip 48197
Phone / Fax [REDACTED]	E-Mail [REDACTED]	

Contractor

Contractor Name & Contact Info Roof Advance [REDACTED]

Type of work

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> <u>Application Amendment</u> |

Complete Description of Proposed Work:

- Tear off and re-roof entire upper and lower sections of the roof.
- Redeck entire lower section of roof with 7/16" OSB plywood.
- On steep sloped sections architectural rubberized Atlas Stormmaster Morning Harvest (matching color to existing) to be installed.
- Install Genflex ISO boards with plates and screws, Install EPDM 0.60 mill rubber roof system (upper low slope roof)
- Install granulated polyglass peal & stick rubber roof system (lower low slope roof)

Materials (for paint include color chips or samples with application):

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:
20,400

Permit fee:
\$45 + _____ =

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature:



Date:

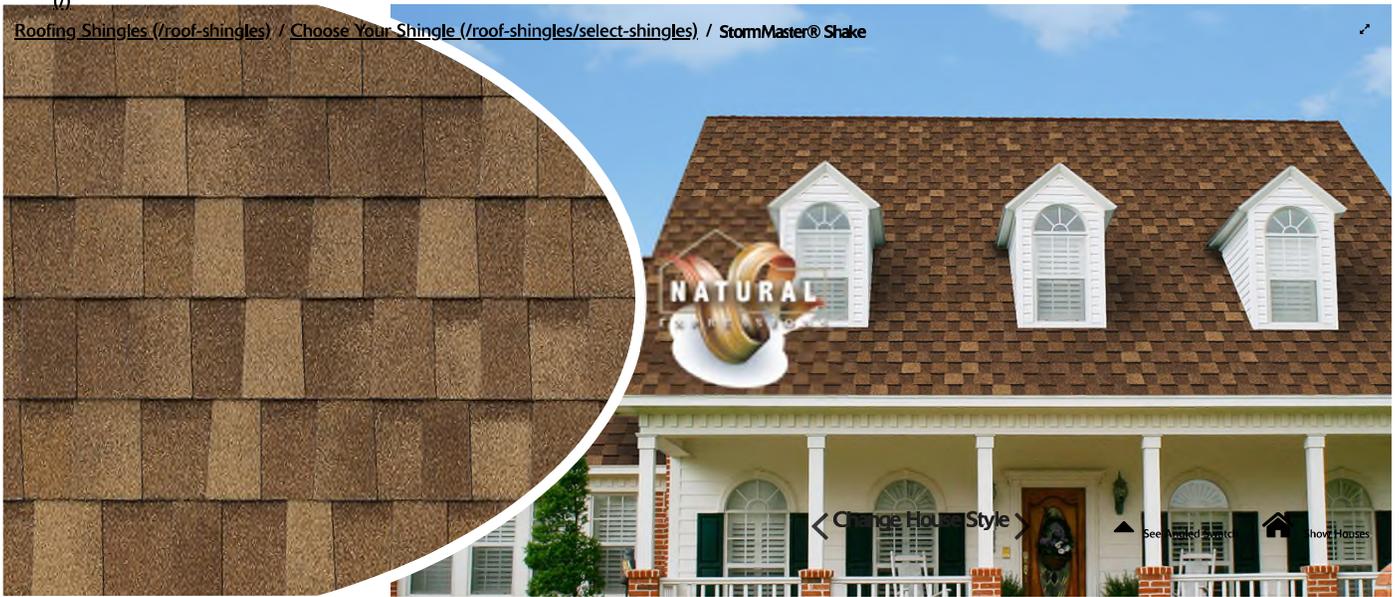
7/28/2020

Print Name:

Yakov Smolyanov

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.



StormMaster® Shake
High Wind And Impact Resistant Shingles

Beauty Backed
by Protection.

StormMaster® Shake shingles featuring Scotchgard™ Protector offer durability and architectural style for a timeless look.

[All](#) [Natural Expressions](#) [Classic](#)



ay



Highland Brown



Majestic Shake



Morning Harvest



Pewter



To provide homeowners the most accurate representation of color options, several photo scans and house shots were utilized in various lighting conditions. Variations in lighting illustrate the color gradients on asphalt shingle roofs.

Color blends vary from shingle to shingle. Before installation, consult with your contractor and request to view the actual shingles being installed on your roof to ensure confidence in your final color selection.

Where To Buy

Find A Local
Retailer

YOUR ZIP CODE

Get It Installed

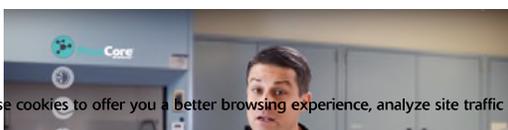
Find A Local
Roofing Contractor

YOUR ZIP CODE

Request A
Quote

[Click Here](#)

0:00 / 4:15



March 04, 2019

Core4™ Enhanced Polymer Technology

Views: 628483

We use cookies to offer you a better browsing experience, analyze site traffic and personalize content. By clicking yes you consent to our use of cookies. **YES NO**





August 04, 2020

100 MICHIGAN PROPERTY VENTURES LLC


CERTIFICATE OF APPROPRIATENESS

RE: Work Permit Application (PHDC-20-0047) for Painting at 100 W MICHIGAN

Dear 100 MICHIGAN PROPERTY VENTURES LLC,

Staff has reviewed the Historic District Work Permit Application for the above named address. Your application to paint the new storefronts has been **approved**. Specifically, approval includes painting the MDO storefront surfaces in black, with trim in "Petoskey" gray to match the rest of the building.

The following Historic District conditions must be followed in all roofing projects:

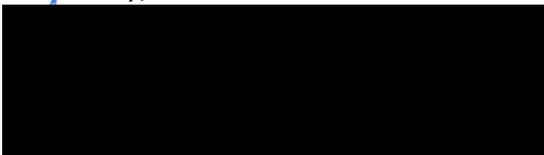
1. **The surfaces shall be prepared in the gentlest means possible; no pressure washing or sandblasting.** Hand-scraping and sanding is allowed. If the building is to be washed, no greater pressure than that of a garden house should be used.
2. **Historic unpainted surfaces shall remain unpainted.** Natural unpainted brick, stone, or wood shall not be painted.

The following Secretary of Interior Standards were considered in approving your application:

- #7 – Clean the building gently- no sandblasting or pressure washing.
- #10 – New work shall be removable.

This detailed list takes the place of your presence at a Historic District Commission (HDC) meeting. Therefore, it is important that you read carefully and follow **all** guidelines detailed in this letter. This approval is for painting only, which according to your application is the only work being performed at this time. Any additional work must be reviewed by the HDC. If you have any questions regarding this information please contact me at (734) 483-9646. **Approval by the Historic District Commission does not exempt you from nor can it be substituted for zoning or building department approval.**

Sincerely,



Community & Economic Development Department

CC: Property Owner - 1 [REDACTED]
File
Building Department

Handwritten signature in blue ink



JUL 24 2020

RECEIVED

**City of Ypsilanti
Historic District Commission
Work Permit Application**
One South Huron • Ypsilanti, MI 48197
Phone: (734) 483-9646 • Fax: (734) 483-7260
www.cityofypsilanti.com

OFFICE USE ONLY
Date Filed:
Meeting Date:
Action Item/Study Item

To complete this application:

1. Complete this form.
2. Attach the following documents:
 - a. Photo(s) showing all locations where work is proposed (can be emailed).
 - b. Catalog cut sheets or similar details for windows, doors, light fixtures, and any other manufactured or preassembled components—this includes information from catalogues, professional quotes, or websites (can be emailed).
 - c. Dimensioned drawings of any new construction or modifications to existing structures, including awnings and signs.
 - d. A sketch plan, if proposal is for work on the grounds and not just the main structure (e.g., installing a new driveway, fence, or shed). This can be drawn on a scaled copy of a mortgage survey.
3. Applications and materials must be received by the Building Department **no later** than 4pm on the Tuesday one week prior to the meeting.

INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Property

Address
100-102 W. MICHIGAN AVE YPSILANTI MI48197

Applicant

**If applicant is not owner of property, a written statement from the owner authorizing this application must be included.*

Name
100 W. MICHIGAN VENTURES

Address
[REDACTED]

City
Ann Arbor

State
MI

Zip
48103

Phone / Fax
[REDACTED]

E-Mail
[REDACTED]

Contractor

Contractor Name & Contact Info
O'NEAL CONSTRUCTION [REDACTED]

Type of work

- | | | |
|--|--|--|
| <input type="checkbox"/> Roofing | <input type="checkbox"/> Porches | <input checked="" type="checkbox"/> Painting |
| <input type="checkbox"/> Window/Door Replacement | <input type="checkbox"/> Sign | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence (or other sitework) | <input type="checkbox"/> Application Amendment |

Complete Description of Proposed Work:

PAINTING NEW STOREFRONT.
SHERMAN WILLIAMS ACRYLIC EXTERIOR PAINT.
ALL TRIM PAINTED COLOR MATCHED TO
"PETOSKEY" CURRENT MASONRY PAINT COLOR.
MDO, STOREFRONT PAINTED BLACK.

Materials (for paint include color chips or samples with application):

SPEC SHEET PROVIDED.

Permit Application Fee (action items only)

The fee is \$45 for the first \$3,000 in construction cost plus \$5 for every additional \$3,000 of construction cost. There is a flat fee of \$10 for painting only. *An additional fee of \$50 applies to HDC work started without the applicable permit.*

Construction Cost:
\$ 2,400

Permit fee:
\$45 + 0 = \$45-

Signature

I hereby attest that the above information is accurate. I am authorized to and grant permission to the City of Ypsilanti staff to be on the subject property for the purposes of preparing staff reports and/or evaluating this application.

I further affirm that this property has, or will have before the proposed work is completed, a fire alarm system or smoke alarm complying with the Stille-DeRossett-Hale single-state construction code, PA 230 of 1972, as amended.

Signature: 

Date: 7/21/20

Print Name: CONOR DORAN

If you have questions about what the HDC generally permits or does not permit, or what they need to see in an application to render a decision, please call the office at 734-483-9646 or view our factsheets online at cityofypsilanti.com/hd.

All other necessary approvals and permits must be acquired before beginning work.

SuperPaint®

Exterior Latex Flat

A80-Series



SHERWIN WILLIAMS®

CHARACTERISTICS

SuperPaint Exterior Latex, with resistance to early dirt pick up, provides outstanding performance on properly prepared aluminum and vinyl siding, wood, hardboard, masonry, cement, brick, block, stucco, and metal down to a surface and air temperature of 35°F.

VinylSafe™ paint colors allow you the freedom to choose from 100 color options, including a limited selection of darker colors formulated to resist warping or buckling when applied to a sound, stable vinyl substrate.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon
@ 4 mils wet; 1.5 mils dry

Drying Time, @ 50% RH:

	@ 35-45°F	@ 45°F +
Touch:	2 hours	2 hours
Recoat:	24-48 hours	4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent

Finish: 0-5 units @ 85°

Tinting with CCE only:

Base:	oz per gallon	Strength:
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultradeep Base	10-12	SherColor
Light Yellow	2-12	SherColor

Extra White A80W02151

(may vary by color)

VOC (less exempt solvents):

less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids: 37 ± 2%

Weight Solids: 53 ± 2%

Weight per Gallon: 11.28 lbs

Flash Point: N/A

Vehicle Type: 100% Acrylic

Shelf Life: 36 months unopened

WVP Perms (US) 27.48 grains/(hr ft² in Hg)

Mildew Resistant

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 07/07/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	N/A
LEED® v4 & v4.1 VOC	Yes
EPD-NSF® Certified	N/A
MIR-Manufacturer Inventory	N/A
MPI®	Yes

APPLICATION

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush:

Use a nylon-polyester brush.

Roller:

Use a high quality 3/8-3/4 inch nap synthetic roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide.

Spray—Airless

Pressure 2000 p.s.i.

Tip .015-.019 inch

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

Thoroughly follow the recommended surface preparations. Most coating failures are due to inadequate surface preparation or application. Thorough surface preparation will help provide long term protection.

SPECIFICATIONS

SuperPaint Exterior Latex can be self-priming when used directly over existing coatings, or bare drywall, plaster and masonry (with a cured pH of less than 9). The first coat acts like a coat of primer and the second coat provides the final appearance and performance. Please note that some specific surfaces require specialized treatment.

Use on these properly prepared surfaces:

Aluminum & Aluminum Siding¹,

Galvanized Steel¹

2 coats SuperPaint Exterior Latex

Concrete Block, CMU, Split face Block

1 coat Loxon Acrylic Block Surfacer

2 coats SuperPaint Exterior Latex

Brick, Stucco, Cement, Concrete

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Plywood

1 coat Exterior Latex Primer

2 coats SuperPaint Exterior Latex

***Vinyl Siding**

2 coats SuperPaint Exterior Latex

Wood (Cedar, Redwood)⁴

1 coat Exterior Oil-Based Wood Primer²

2 coats SuperPaint Exterior Latex

¹ On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

² Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

³ Not for use at temperatures under 40°F. See specific primer label for that product's application conditions.

⁴ Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

Other primers may be appropriate. Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.

SuperPaint®

Exterior Latex Flat

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at **1-800-424-LEAD** (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer/sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Aluminum and Galvanized Steel:

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

Cement Composition Siding/Panels:

Remove all dirt, dust, grease, oil, loose particles, laitance, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH, if the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.

Caulking:

Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

Masonry, Concrete, Cement, Block:

All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces should be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Concrete & Masonry Primer/Sealer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant. Concrete masonry units (CMU) - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 50°F (10°C) before filling. Use Loxon Acrylic Block Surfacer. The filler must be thoroughly dry before topcoating.

Previously Painted Surfaces:

If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

SURFACE PREPARATION

Mildew:

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.

Wood, Plywood, Composition Board:

Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.

Steel:

Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.

Stucco:

Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete & Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.

***Vinyl or other PVC Building Products:**

Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, prime with appropriate white primer. Do not paint vinyl with any color darker than the original color or having a Light Reflective Value (LRV) of less than 56 unless VinylSafe® Colors are used. If VinylSafe colors are not used the vinyl may warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.

CAUTIONS

For Exterior use only
Protect from freezing.
Non-photochemically reactive.

Not for use on floors.

Before using, carefully read **CAUTIONS on label**

CRYSTALLINE SILICA, ZINC: Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Adequate ventilation required when sanding or abrading the dried film. If adequate ventilation cannot be provided wear an approved particulate respirator (NIOSH approved). Follow respirator manufacturer's directions for respirator use. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately.

DELAYED EFFECTS FROM LONG TERM OVEREXPOSURE. Abrading or sanding of the dry film may release crystalline silica which has been shown to cause lung damage and cancer under long term exposure. **WARNING:** This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 07/07/2020 A80Y00156 29 36

CLEANUP INFORMATION

Clean spills, spatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.



ONE WAY
→

PUBLIC PARKING LOT →

WEST BUSINESS

12

WEST

17

↑

→

NO PARKING ON SIDE

12

Johnson Hewitt
TAX SERVICE

VISION



MINUTES

City of Ypsilanti HISTORIC DISTRICT COMMISSION Virtual Meeting

Tuesday, July 28, 2020
7:00 P.M.

CALL TO ORDER AND ROLL CALL

Chairperson Pettit Video/telephone usage instructions given for potential attendees
Meeting called to order at 7:03pm

Commissioners Present: Alex Pettit, Erika Lindsay, Amy Swift, James Chesnut

Commissioners Absent: Anne Stevenson, Ron Rupert

Staff Present: Scott Slagor, Preservation Planner
Nancy Hare-Dickerson, Commission Recording Secretary

Additional Staff Present: Andrew Hellenga, City Clerk
Andy Aamodt, City Planner
Chelsea Thomas, Treasury Technician

APPROVAL OF AGENDA

Motion: Lindsay (second: Swift) moved to approve the agenda as submitted.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

PUBLIC COMMENT ON AGENDA ITEMS- none

PUBLIC HEARING—none

OLD BUSINESS—none

NEW BUSINESS

201 N River

**Awning.*

Applicant: Karen Facer, church representative- present

Discussion: Pettit: Asked applicant to walk the Commission through the awning work that is planned.

Facer: Stated that the awning will go on the non-historical portion of the west side of the building and will not be seen by people driving by River Street. Indicated that the awning will provide protection to people entering the elevator vestibule. Stated that it will also provide some protection from the weather for the volunteers who run the drive-through food pantry.

Pettit: Stated that it looks to be an aluminum structure *[reference materials]*. Asked if the posts are anchored in concrete *[reference materials]*.

Facer: Confirmed. Stated that they are anchored.

Chesnut: Asked for clarification on the height.

Facer: *[Clarified document materials]*. Stated that the special order would be for the ten-foot poles so that it will clear the light and the security camera.

Chesnut: Stated that it appears that the ten-foot elevation is going to tuck just about under that flashing detail *[reference photo materials]*.

Facer: Confirmed.

Chesnut: Asked -- and then the gutter system is intended to tie back into the two adjacent gutters.

Facer: Confirmed. Stated that to the right of the door is the gutter system *[reference photo materials]*, and the gutter from the awning will tie into that existing gutter.

Chesnut: Asked -- so all the water collected on the new awning will hit a gutter that wraps the new awning and then has a downspout that goes into that gutter to the right *[reference photo materials]*.

Facer: Confirmed. Stated that there will be no pooling of water on the existing parking lot.

Motion: Chesnut (second: Swift) moved to approve and issue a certificate of appropriateness for the work at 201 N River, as submitted in the application dated June 30, 2020, for installation of an Americana Sierra Patio Cover, as specified. Structural components mounted to the building shall occur at the mortar joints.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

216 S Washington

**Windows.*

Applicant: Brett Mahaffey and Larry Jones, Renewal by Andersen– present

Discussion: Pettit: Asked applicant to walk the Commission through the plans for additional windows.

Mahaffey: Indicated that the application is for three wood windows in the back and one on the back right-side of the house. Stated that the windows are not visible from the road. Stated that the plan is for one picture window and three double-hung. Indicated that the center sash of the picture window is broken and is covered with cardboard as a result *[reference photo materials]*. Stated that one window is in the shower well of the bathroom and is rotted. Indicated that the plan is to replace that window and do the interior trim in Azek to avoid future rotting issues. Indicated that the plan is to replace the upper level window, which is a wider one, and then a lower side window. Stated that the lower level 102 window is in the same room as 101 *[reference photo materials]*. Indicated that the plan is to change 101 to a gliding window to allow the homeowner to open it up, get a breeze through the house and see and talk to their kids playing in the yard.

[Further clarifying discussion as to room window locations]

Pettit: Asked what window 101 would look like.

Mahaffey: Stated that the two outer windows would slide into the center one *[reference drawing]*.

[Further clarifying discussion, reference drawing, as to window 101]

Chesnut: Summarizing, stated that what it will look like is it is going to be approximately a three-inch frame at the perimeter of the window and then the vertical mullions will be about two inches.

Mahaffey: Confirmed.

Pettit: Asked if both gliders can be opened at the same time.

Mahaffey: Confirmed, no.

Lindsay: Indicated that both left and right sides would be recessed, which could create a different kind of shadow *[reference drawing]*. Stated that what was a kind of grille pattern, now is a really thick and heavy line *[reference drawing]*.

Mahaffey: Acknowledged.

Lindsay: To clarify, asked if this is on the back façade.

Mahaffey: Confirmed.

Swift: Asked if the glass is broken on the actual sash or on the storm window *[reference photo materials]*.

Mahaffey: Stated that it is on the inside.

Swift: Asked if the pane is in a similar condition as the storm is depicted *[reference photo materials]*.

Mahaffey: Stated that the outside storm is fine and is not broken. Stated that it might be cracked but the interior glass is broken where the cardboard is *[reference photo materials]*.

[Further clarifying discussion as to the condition of the wood and paint on the sash, reference photo materials]

[Discussion as to replacement appropriateness for window 101]

Jones: *[Invitation to commissioners to visit the site and view the first two phases of work completed]*

[Discussion regarding Secretary of the Interior's Standards for the Rehabilitation of Historic of Historic Structures as to repair/replacement]

[Discussion as to accomplishing window energy efficiency]

Pettit: In summary *[reference documentation and photos]*, stated that there is nothing showing that window 101 is destroyed and not repairable. Stated that it looks like the storm has done a good job of protecting the window.

Jones: Indicated that since the primary concern is to make the home air tight and sealed up, it would be appreciated if they could at least put the picture window in there.

Swift: Asked if the picture window would still have grilles.

Jones: Confirmed. Stated that they would be totally replicated.

Swift: Asked if they are true divided lites.

Mahaffey: Confirmed. Stated that there would be grilles on the inside and outside, and then there is a divider bar between the panes of glass.

Lindsay: Asked about the possibility of, instead of sliders, having two casements on the sides that are opening and one piece down the middle that is stationary.

[Discussion ensued regarding alternative options]

Pettit: Asked, as to window 102, if the proposal is to replace the double-hung *[reference photo*

materials].

Mahaffey: Stated that they would match it exactly.

[Discussion regarding the history of the home and previous work done]

Mahaffey: Stated that 201 is a double-casement window right above 101. Stated that it was completely shut and had to be banged open.

[Discussion ensued as to existing window placement and window condition of 201]

Pettit: Asked if they are planning a similar double-hung/similar lite pattern.

Mahaffey: Confirmed.

Pettit: Asked about the next window.

Mahaffey: Stated that 202 is a double-hung window in the bathroom. Stated that it is very rotted because it is in the shower well. Indicated that they would like to do textured glass on the top and bottom for additional privacy reasons.

[Discussion ensued as to historical appropriateness of privacy glass/options]

Mahaffey: Stated that going back to the picture window, the 101, that he looked into the sizes. Stated that they are not able to do an awning window that big. Stated that it is just over six-feet wide by five-feet high. Stated that if they match that same front of the house, the casement windows with five-inches on the mullion on a double-casement or even a triple-casement for that wide of an opening, would probably not be that bad.

Chesnut: Asked if they can do a picture window in that size.

Jones: Confirmed. Stated that he was thinking about two double-hung windows to match the rest of the back of the house.

Chesnut: Indicated that the commissioners discussed earlier the intent to match what is there — the material and aesthetic. Indicated that the Commission is doing their best to discuss options for the ventilation that is desired and the audible communication in the back yard.

Jones: Stated that the only problem with the casement is if the windows are open and the kids are running around, we would not want them to run into the sash.

[Discussion continued]

Mahaffey: Asked if they would be allowed to replace it with a picture window with matching grilles, to look like that *[reference photo materials]* with a three-wide-three-high grille pattern.

[Discussion ensued as to repair/replacement appropriateness]

Mahaffey: Asked if the Commission has a list of repair companies that could be given to the homeowner.

Slagor: *[Indicated that the City does not endorse specific contractors but shared the names of agency references who may be able to provide assistance]*

[Final clarifying discussion was had]

[Procedural discussion ensued]

Mahaffey: Stated that he would like to amend the application for all the windows, except for 101, to be replaced.

Slagor: Clarified that window 101 was removed from the application and that the other windows remain as originally presented.

Swift: Stated that she will be voting for replacement and approval of the proposal based on the era of what seems to be the windows that are in this particular package not being original to the first construction date of the house.

Motion: Swift (second: Chesnut) moved to approve and issue a Certificate of Appropriateness for the work at 216 S Washington for the replacement of three windows with Renewal by Andersen in Red Rock brown. The new windows shall be full frame replicas that match the grille pattern and dimensions of the original windows. In the bathroom [window #202], a hammered glass or similarly obscure and historic glass shall be in the upper and lower sashes.

Secretary of the Interior Standards:

#5 – Preserve distinctive features.

#6 – Repair, don't replace. Replacements shall match original.

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

100 W Michigan

**Windows.*

Applicant: Conor Doran, property representative; and Nick Kresta, O'Neil Construction - present

Discussion: Pettit: Asked applicant to walk the Commission through the application.

Kresta: Stated that there are twelve windows on the south face of the building. Indicated that the existing windows are failing non-original vinyl windows which need replacing. *[Referencing diagram materials]*, indicated that the replacement windows are as similar as they could replicate

to what is believed the original windows were, in that they equal the panes and the grilles are the same dimension. Stated that it is four separate operable sections with the thick muntin portion in the middle. Stated that it is all wood.

Pettit: Stated that the windows look a hundred percent better.

Swift: Acknowledged the challenges the applicants dealt with and indicated her thanks for their hard work.

Pettit: Asked applicant to talk about the infill piece at the top *[reference photo materials]*.

Kresta: Stated that at some point the windows were already squared up and have got infills installed on both levels *[reference photo materials]*. Stated that they are not moveable. Stated that they are working within the opening available to them. Stated that it is the window proper that is being replaced. Stated that those are sitting proud. Stated that they will recess those as well into the opening.

Pettit: Asked if any of the infill arches need anything beyond what is existing there *[reference photo materials]*. Asked if there will be any work on that portion of the opening.

Kresta: Stated that the header infills will remain as they are now. Stated that if they take it out and find there is something that needs to be done to ensure a stable installation, then they will do that. Stated that aesthetically and functionally, there is no change to the header.

Swift: Stated that the whole frame is being set back into the brick. Asked if the sill will protrude and sit proud outside for drainage.

Kresta: Confirmed. Stated that they will take the drip edge beyond the face of the brick.

Swift: Stated that it looks like the brick mold has a slight profile to it.

Kresta: Confirmed. Stated that there will be a profiled casing around it.

Chesnut: Stated that it looks like there is an inch and five-sixteenths thick material that will frame these windows on the exterior and sit proud of the face of the brick.

Kresta: Stated -- no, that will not be proud of the face of the brick; that will all be within the brick opening.

[Clarifying discussion continued, referencing materials, regarding sills/face of the brick]

Kresta: Stated that the important thing is that they are not going to drip water. Stated that the brick will take on water, and so they understand that some material is needed to get any shed water off on to the face of the brick where it can continue down and not seep in. Stated that once these windows are taken out, there may need to be some work done right there for some sort of sub-sill *[reference materials]*. Stated that whatever they do there is going to be in that effort. Stated that they are not going to leave standing water on top of the brick.

[Further clarifying discussion continued]

Motion: Swift (second: Lindsay) moved to approve and issue a Certificate of Appropriateness for the work at 100 W Michigan for installation of 12 new Jeld Wen Sitrine double-hung wood windows on the façade second and third stories, as specified.

Secretary of the Interior Standards:

#5 – Preserve distinctive features.

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

301 Maple

**Accessory building.*

Applicant: Adriaan Van Velden, owner- present

Discussion: Pettit: Asked applicant to talk the Commission through the proposal.

Van Velden: Stated that the proposal is to replace the existing shed which is eight-by-eight. Stated that the intent is to build an accessory structure that will provide more space for a garden shed and also for storage. *[Reference drawing]* -- Stated that the building is eleven-feet wide by thirty-two-feet long. Stated that it is in the west side yard, three feet off the west boundary. Stated that it is about sixty foot from the front property line and about thirty-feet behind the six-foot fence on the front side of the property. Stated that it is about forty feet from the rear property line. Stated that the intended materials are board-and-batten siding painted white. Stated that the house is pink with white trim, and the idea is to do the accessory building all in white. Stated that he is not yet certain on the type of windows but the intention is to do possibly a couple of high-level awning windows and then a couple of single or double-hung wood windows, clad externally in either aluminum or Fiberglas. Stated that they would be Pella and would match the shape and form of the windows on the existing house. Stated that they would be about thirty-by-sixty. Stated that the existing house has windows in similar proportions, though slightly larger. Stated that at this point, the plan is for a double door on the north side to the rear of the property. Stated that on the south elevation, there will probably be no opening at this point but the intention is to frame it out, so that a double door could be done in the future. Stated that the proposed roof material is a 5v Crimp traditional metal roof in a galvalume finish *[reference photo materials]*. Stated a change in the footings -- to a six-by-six pressure-treated wood post series of footings.

Swift: Asked if this is behind a fence.

Van Velden: Confirmed. Stated that there is a six-foot fence along the front property line. Stated that it runs from the southwest corner of the house to the west property line.

[Further clarifying discussion as to window/door type/style]

Motion: Swift (second: Chesnut) moved to approve and issue a Certificate of Appropriateness for the work at 301 Maple as submitted in the application dated July 8, 2020 for installation of a new garden shed as specified. The new structure shall match the drawings and material lists submitted. Additionally, as discussed, the windows should match the configuration as submitted but be either a wood or aluminum-clad wood material. The door should also match the design submitted with a half-lite material and be in compliance with the door guidelines that outline either a natural material or door or synthetic door that does not have a textured finish. The exterior wood components of the structure shall be painted. Amendment - after the application was submitted, there was a change to pressure treated footings instead of concrete sonotubes as listed.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut

Nays: None

Absent: Commissioners Stevenson and Rupert

Motion carried.

217 W Michigan

**Balcony deck replacement and additional structural support.*

Applicant: Thomas Rumford, owner; David Post, contractor- not present

Discussion: Pettit: Summarized the application.

[Commission reviewed and discussed the proposal and reference materials]

[Procedural discussion]

Motion: Chesnut (second: Lindsay) moved to approve and issue a Certificate of Appropriateness for the work at 217 W Michigan as submitted in the application dated July 14, 2020 for work to the rear egress balcony. A new structural support timber post shall be added as specified; the balcony deck shall be radius edged deck boards as specified; the stair treads may be repaired as needed. A new balustrade will not be installed at this time per note number 5 in the Staff Review. For future reference and future application, the applicant should reference the handrail guidelines provided by the City of Ypsilanti [see Fact Sheet] prior to submitting for approval of the balustrade. Approval is conditioned that the wood components be painted or stained in an opaque finish. An additional comment is that note B on sheet S-1 of the structural drawings be clarified if in fact new column locations are to be located for structural reasons, and resubmitted to the City for final approval by the Historic District Commission.

Secretary of the Interior Standards:

#9 – Contemporary designs shall be compatible and shall not destroy significant original material.

#10- New work shall be removable.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

STUDY ITEMS-none

ADMINISTRATIVE APPROVALS

1. **210 Oak** – Paint
2. **310 Florence** – Fence
3. **326 E Forest** – Paint
4. **116 N Hamilton** – Paint

Motion: Lindsay (second: Swift) moved to accept the administrative approvals for 210 Oak - paint; 310 Florence– fence; 326 E Forest – paint; 116 N Hamilton – paint.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

OTHER BUSINESS

1. Property Monitoring

Commissioner/Staff discussion as to property monitoring.

2. Commissioner Comments

Commissioner Pettit shared a Tesla Solar Glass Roof Installation presentation.

Discussion regarding the Historic District commissioner vacancy.

AUDIENCE PARTICIPATION ON NON-AGENDA ITEMS—none

HOUSEKEEPING BUSINESS

Approval of the minutes of June 23, 2020

Motion: Lindsay (second: Swift) moved to approve the minutes of June 23, 2020 as submitted.

Roll Call Vote - Ayes: Commissioners Pettit, Lindsay, Swift, Chesnut
Nays: None
Absent: Commissioners Stevenson and Rupert
Motion carried.

ADJOURNMENT

Chairperson Pettit adjourned the meeting, citing the end of the agenda with no further items to discuss.

MEETING ADJOURNED at 9:48 p.m.

Full Minutes Prepared By: Nancy Hare-Dickerson



**PUBLIC NOTICE
CITY OF YPSILANTI
HISTORIC DISTRICT COMMISSION – VIRTUAL MEETING**

The Ypsilanti Historic District Commission (HDC) will hold A Virtual Meeting on Tuesday, August 11, 2020 at 7 p.m. The meeting will be in held in accordance with Governor Whitmer’s Executive Order 2020-154.

The Regular HDC Meeting is being held virtual in order to prevent the spread of COVID 19.

The meeting can be attend through the below link, or through the below toll free numbers.

August 11, 2020 HDC Regular Meeting Virtual Access Link

<https://us02web.zoom.us/j/87557819715>

When prompted, enter **Meeting ID:** 875 5781 9715

July 28, 2020 HDC Regular Meeting Toll Free Phone Number Access

888 475 4499 US Toll-free

877 853 5257 US Toll-free

When prompted, enter the **Meeting ID:** 875 5781 9715, followed by the #, press # again to be connected

Members of the public will be able to make comment during the designated time for public comment. To address the HDC, meeting participates will need to “raise their hand” to indicate they want to speak.

To raise your hand while participating online, click the “Raise Hand” icon at the bottom of the Zoom Screen or press *9 via phone. After you raise your hand you will be informed when it is your turn to speak, and your microphone will be unmuted at that time. Your microphone will be muted again when you have finished your comments or when your speaking time has expired.

Instructions for Persons with Disabilities

Persons with disabilities who need accommodations to effectively participate in the meeting should contact the City Clerk, Andrew Hellenga at ahellenga@cityofypsilanti.com by 5:00 p.m. on the day before the meeting to request assistance. Closed Captions will be provided during the meeting.

City Clerk's Office
One South Huron Street
Ypsilanti, Michigan 48197
(734) 483-1100

Andrew Hellenga
City Clerk
Posted: August 7, 2020